ENVIRONMENTAL REVIEW RECORD

VILLAGE OF NEW LONDON WATER MAINS REPLACEMENT PROJECT

HURON COUNTY CDBG GRANT NUMBER B-X-20-1BJ-1 (Critical Infrastructure)

JUNE 2021

Prepared by:

Great Lakes Community Action Partnership
Ohio RCAP
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ENVIRONMENTAL REVIEW RECORD

HURON COUNTY COMMISSIONERS VILLAGE OF NEW LONDON WATER MAINS REPLACEMENT PROJECT

CDBG CRITICAL INFRASTRUCTURE PROGAM CDBG GRANT No. B-X-20-1BJ-1

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ENVIRONMENTAL ASSESSMENT WORKSHEET



Environmental Assessment Worksheet

Grantee	Huron County Commissioners	
Grant Number	B-X-20-1BJ-1	
Activity Name	Village of New London Water Mains Replacement Project	
Activity Location	Village of New London, Huron County	

Activity Description:

Huron County is requesting \$480,300 from the CDBG Critical Infrastructure Grant program for a waterline project in the Village of New London. The Waterline Project improvements include replacement of approximately 1,500 linear feet of existing 4-inch water main with a new 6-inch water main along Park Avenue (SR 60) between Clyde Avenue and New London Avenue; and replacement of approximately 500 feet of 2-inch water main with new 6-inch water main along South Main Street between Grove Street and 3rd Street. The project includes transferring services to the new water main and abandoning the existing 2 inch and 4-inch water main within these areas. In addition, the project includes transfer of services to newer mains and abandoning the 4-inch water main along Park Avenue from 400 feet south of Wildcat Drive to Clyde Avenue and from New London Avenue to 3rd Street, the 6-inch main on 3rd Street between South Main Street and Park Avenue, and along New London Avenue between Park Ave and the water tower. The National Objective is met through an income survey at 52.74% LMI, benefitting 1,070 LMI individuals.

The existing 4-inch waterline was installed in the early 1930's. It is one of the first main transmission lines that ties into the rest of the system. The main along Park Avenue still acts as a secondary transmission main between the water treatment plant and water tower. Over the years, the Village has had many line breaks throughout this entire area causing the Village to shutdown lines and reroute water through secondary lines. When this happens, it can and has caused issues with pressure in the lines, which has caused other lines to fail. In addition, the old line no longer carries the capacity to flow enough water for adequate fire protection.

The project also replaces an aging 2-inch galvanized water main which removes a possible source of lead within the system and allows for the abandonment of an additional portion of the aging 4 inch main. The water main replacement is adjacent to the water tower and provides service to the remainder of the water system including the downtown area.

Huron County will use Critical Infrastructure funds, along with leveraging from the Village of New London's Revolving Loan Fund and the Village Water Utility Fund for engineering services, general administration, environmental review, contract management, and audit and close-out.

Determination:			
Finding of No Significant Impact (FONSI), whereby the Responsible Entity may proceed to Dissemination and publication of the FONSI, per regulations found at 24 CFR Section 58.43(a).			
Finding of Significant Impact, whereby the Responsible Entity must proceed to develop an Environmental Impact Statement (EIS) in compliance with 24 CFR Part 58, Subparts F or G.			
Preparer Name: Bon Winland - Great Laked Community Action Partnership - Ohio RCAP Signature			



List of Attachments

×	Location Map
	Site Photographs
	Copies of other Environmental Analyses (if applicable) List:
×	Other Relevant Correspondence and Notifications (if applicable) List: Ohio State Historic Preservation Office (SHPO)
	Ohio Department of Natural Resources (ODNR)
	United States Fish & Wildlife Service
×	Statutory Checklist Supporting Documentation
	Environmental Assessment Checklist Supporting Documentation
×	Combined Notice: Finding of No Significant Impact (FONSI) and Notice of Intent to Request Release of Funds (NOI/RROF) Date:
	Request for Release of Funds (RROF) Date:
	Release of Funds (ROF) Date:
	Additional Documentation Describe:



Statutory Checklist Instructions:

For each of the environmental laws and authorities listed below, determine the level of compliance required and provide a narrative explanation and list of supporting documentation. The narrative must explain decision-making and compliance procedures. Attach all supporting documentation to this worksheet.

Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5	Compliance Required?	Explanation and List of Compliance Documentation
Historic Preservation. Resources: State Historic Preservation Office HUD Historic Preservation	Yes	In accordance with Section 106 of the National Historic Preservation Act of 1966, as amended (36 CFR 800) the Ohio State Historic Preservation Office (SHPO) was consulted with on the proposed project. Pursuant to Section 106 of the National Historic Preservation Act of 1966, as amended, and associated regulations at 36 CFR Part 800, SHPO provided the following comments in correspondence dated April 29, 2021: According to our records, no historic properties or districts are documented within the APE, although one Determination of Eligibility property is present along Park Avenue but will not be impacted by the proposed project. Given the previous disturbances associated with street and utility construction, it is our opinion that this project has little to no potential to impact intact archaeological deposits. Therefore, as proposed, the project will have no effect to historic properties. No further coordination is required for this project unless the scope of work changes or archaeological remains are discovered during the course of the project. In such a situation, this office should be contacted as required by 36 CFR § 800.13. See Exhibit 1 for Ohio State Historic Preservation Office Mapping, historic properties listings, and correspondence.
		Any excavation by the contractor that uncovers human remains, an archaeological site, historical or archaeological artifacts shall be immediately reported to the Owner, the Ohio Development Services Agency, and the Ohio Historic Preservation Office (SHPO). Construction shall be immediately halted

Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5	Compliance Required?	Explanation and List of Compliance Documentation
		pending the notification process and further directions provided after consultation with SHPO and all Indian Tribes listed for Huron County, Ohio.
Floodplain Management. Resources: Floodplain Maps Floodplain Administrators HUD Floodplain Management	No	The Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Panel 39077C0360D (effective 1/11/2011) covers the Project Area and was reviewed to confirm whether the area of review is located within any special flood hazard or 100-year floodplain. According to a review of the FIRM, a small section of the project alignment will occur within a section of the 100 Year floodplain of unnamed waterway along Park Avenue. In this area, the 6-inch water line will cross within the 100-year floodplain.
		Disturbance to the floodplain will be very minimal, as the 6-inch water line will be installed via Horizontal Directional Drilling. No fill will be placed inside the 100-year floodplain and any surface areas impacted will be restored to equal or better condition after construction.
		A portion of the project alignment is located within a 100-year floodplain; therefore, Executive Order 11988 and NFIP conditions are applicable. The eight-step decision making process was followed, including public notices and an examination of practicable alternatives. A review of the proposed activities was completed, and the determination was made that the project shall have minimal impact on the community's flood hazard area. Additionally, prior to construction, the project plans will meet any applicable, additional local or federal floodplain requirements set forth by the community's Floodplain Administrator.
		Exhibit 2 provides the FEMA Floodplain Mapping and a description of the Eightstep decision making process followed for the project.
		Mitigation: Construction within a floodplain area will require compliance with all local floodplain management regulations and permits, as applicable. Original land contours must be restored after completion of construction activities and seeded with native non-invasive species as needed. Directional bore construction techniques shall be implemented at all stream crossings and floodplain areas in the project area.

Statutes, Executive Orders, and Regulations	Compliance	
listed at 24 CFR §58.5	Required?	Explanation and List of Compliance Documentation
		,
Resources: NRCS Web Soil Survey National Wetlands Inventory Ohio EPA Division of Surface Water US Army Corps of Engineers Regulatory (Permits) HUD Wetlands Protection	No	Based upon a review of the U.S. Fish and Wildlife Service National Wetland Inventory Mapping for the proposed project, no wetlands are known to occur in the project area or adjacent properties. The Natural Resources Conservation Service soil mapping does not indicate the presence of hydric soils in the project area and much of the Village.
		The water line replacement is in a well-developed urban setting and entirely within maintained existing road right of ways. There will be no wetlands impacted during construction of this project and no mitigation is required. There is no in-water work proposed for the project.
		See EXHIBIT 3 for National Wetland Inventory Mapping, soils mapping and report.
Coastal Zone Management Resources: Object of Coastal Management	No	There will be no impacts to Coastal Zone Management or Coastal Barrier Resources.
Ohio Office of Coastal Management Ohio Coastal Atlas Map Viewer HUD Coastal Zone Management		Huron County and the Village of New London project area are not located within a Coastal Zone Management Area according to the attached Ohio Department of Natural Resources Coastal Zone Management Map.
		The project site is also not located within a coastal barrier resource area per attached USFWS Coastal Barrier Resources System Mapper.
		See EXHIBIT 4 for Ohio Coastal Management Area Mapping and Costal Barrier Resources Area Mapping.
Sole Source Aquifers Resources: Ohio EPA Sole Source Aquifers in Ohio	No	According to the Sole Source Aquifer Map for Ohio, the Village of New London and the project area are not located near this resource, therefore no impacts will occur.
HUD Sole Source Aquifers		See EXHIBIT 5 for Ohio Sole Source Aquifer Map.

Statutory Checklist				
Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5	Compliance Required?	Explanation and List of Compliance Documentation		
Endangered Species Resources: US Fish & Wildlife Service Section 7 information Endangered Species in Ohio Ohio Natural Heritage Database HUD Endangered Species	Yes.	The U.S. Fish & Wildlife Service (USFWS) Information for Planning and Consultation (IPaC) website was consulted to determine the presence of threatened and endangered species, and critical habitat. An Official Species List was developed for the project area and summarizes that there is a total of two (2) threatened or endangered species including the endangered Indiana bat and threatened northern long-eared bat. According to the Official Species List there is no Critical Habitat identified for the project area. The proposed project will not require tree removal as part of the construction and therefore a determination of no-effect was made with respect to potential impacts to the endangered Indiana bat and threatened northern long-eared bat.		
		According to the Ohio Department of Natural Resources (ODNR) Division of Wildlife (DOW), the entire state of Ohio is within the range of the Indiana bat (Myotis sodalis), a state endangered and federally endangered species, the northern long-eared bat (Myotis septentrionalis), a state endangered and federally threatened species, the little brown bat (Myotis lucifugus), a state endangered species, and the tricolored bat (Perimyotis subflavus), a state endangered species.		
		Adverse impacts to the Indiana bat, the northern long-eared bat, the little brown bat, and the tricolored bat, are not anticipated. The USFSW IPaC species report does not indicate the presence of critical habitat in the project area. A desktop habitat assessment was completed for the project area and did not indicate the presence of potential hibernacula within 0.25 miles of the project area. ODNR Interactive Karst Mapping for the project area was reviewed and did not indicate any mines or karst areas in the project area. ODNR Mine Mapping for the project area was also reviewed and did not indicate any underground mines or mine openings in the project area or within 0.25 miles.		
		There is no in-water work proposed for the completion of this project. One (1) stream channel exists within the project alignment and crossing the stream will be completed utilizing horizontal directional boring to avoid impacts to the stream, channel, indigenous aquatic species, and their habitat.		
		The project area is composed of existing and maintained public road right of way within the Village limits, and in a residential setting. No in-water work is proposed as part of the project and tree removal is not expected to be		

Statutory Checklist			
Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5	Compliance Required?	Explanation and List of Compliance Documentation	
		necessary. As such, impacts to federal and state listed species and general wildlife in the project area is not expected.	
		Mitigation:	
		 Avoidance of tree clearing. If tree clearing must occur, the implementation of seasonal tree cutting (clearing of trees ≥ 3 inches diameter at breast height (dbh) between October 1 and March 31) to avoid impacts to the federally listed endangered Indiana bat and threatened northern long-eared bat; and the state endangered little brown bat and tri-colored bat. No in-water work is to occur, stream channels will be bored under to avoid impacts to indigenous aquatic life and their habitat. 	
Wild and Scenic Rivers	No :	According to a review of the Ohio Wild and Scenic River Map, there are no Wild and Scenic Rivers located within Huron County, or in close proximity to the	
Resources: ODNR Scenic Rivers		project area. As such, there will be no impacts to this resource. No mitigation is required.	
HUD Wild and Scenic Rivers		See EXHIBIT 7 for Wild and Scenic Rivers Map.	
Air Quality Resources: Ohio EPA Asbestos Program Ohio EPA Notification of Demolition and Renovation HUD Air Quality	Yes	The USEPA has set National Ambient Air Quality Standards (NAAQS) for criteria air pollutants including Lead (Pb), Carbon Monoxide, Sulfur Dioxide, Nitrogen Dioxide, Ozone and Particulate Matter (PM). According to the Ohio EPA Division of Air Pollution Control National Ambient Air Quality Standards – Attainment Status Webpage, and the USEPA Greenbook on Nonattainment Areas for Criteria Pollutants there are only portions of Ohio designated nonattainment for ozone and sulfur dioxide.	
·		The Village of New London and project area are situated in Huron County which is designated as in attainment status for all NAAQS criteria pollutants standards. The proposed project will not create a permanent emission source, nor will it increase population density that could result in increased air pollution and will not impact the Huron County Air Quality Attainment Status for criteria pollutants.	
		Short-term, but minimal air quality impacts may occur during construction related to mobile equipment and vehicles, and dust created during trenching, excavation, and grading activities. The air pollution contributions by construction	

Statutory Checklist				
Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5	Compliance Required?	Explanation and List of Compliance Documentation		
		equipment will be similar to that of vehicles and trucks that regularly travel through the project area. Contractors will ensure fugitive dust is minimized during construction by applying water or environmentally benign dust suppressants and use of best management practices as required. For these reasons, the project will not have significant short-term or long-term air quality impacts.		
		Mitigation:		
		All construction vehicles should be equipped with proper emissions control equipment.		
	ı	Conduct periodic maintenance of equipment and machinery for proper tuning to minimize exhaust emissions and more.		
		Utilize best management practices and reasonably available dust control measures, as necessary, during construction to minimize dust generation.		
		The open burning of construction material or other wastes is prohibited.		
Farmland Protection Resources: NRCS Farmland Protection Policy Act HUD Farmlands Protection	No	There will be no impacts to important farmland as all project construction will occur within the current footprint of existing road right of way along Park Avenue and South Main Street. In addition, the project area in within the incorporated area of New London and in an area committed to residential and commercial land uses.		
		There will be no conversion of agricultural or non-agricultural use, as the project alignment is entirely with existing road right of ways and are subsurface installations. In addition, the installation of water mains will be completed utilizing horizontal directional boring.		
	·	See EXHIBIT 8 for project design information documenting project will be limited to the existing road right of way and subsurface installation via horizontal directional drilling,		

Statutory Checklist			
Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5	Compliance Required?	Explanation and List of Compliance Documentation	
Resources: HUD Noise Abatement and Control HUD Noise Guidebook HUD Day/Night Noise Level Electronic Assessment Tool HUD Sound Transmission Classification Assessment Tool ODOT Traffic Count Data Ohio Airport Information Airport Master Records and Reports PUCO/ORDC Railroad Information System Federal Railroad Administration Query by Location tool	Yes	Noise levels in the planning area are typical for residential land use and estimated at 40–45 dba. Noise associated with the project will be limited to that generated during construction. The noise associated with construction activities will be short-term in duration and only occur during normal daylight hours. Backhoes, front-end loaders, trucks, and power tools are typical equipment that may be used during installation. Construction noise will be locally audible, but only slightly higher with respect to normal traffic and gas-powered equipment used in the project area. Due to the daytime construction period, and the somewhat constant progression of construction equipment, along with the short duration of elevated noise levels associated with the proposed construction; impacts from noise are expected to be minor and temporary. Upon completion of the project, no long-term noise impacts will occur. Mitigation: Power operated construction equipment shall not be operated between the hours of 8:00 pm to 7:00 am, or as otherwise determined by the owner or as required by local noise ordinance. Construction equipment shall be provided with intake silencers and mufflers, as required by safety standards.	
Airport Clear Zones and Accident Potential Zones. Resources: Ohio Airport Information HUD Airport Hazards Airport Master Records and Reports	No	Attached is a map showing the location of the nearest airports to the project area. According to the map, the project is not located within 15,000 feet of a military airfield or within 2,500 feet of a civilian airfield. No mitigation is required.	
Resources: HUD Explosive and Flammable Operations Resources: HUD Explosive and Flammable Facilities US EPA NEPAssist US EPA Envirofacts HUD Choosing an Environmentally Safe Site Acceptable Separation Distance Calculator Acceptable Separation Distance Guidebook	No	The proposed project does not involve the development, construction, rehabilitation, modernization, or conversion of residential housing that will increase residential densities, or conversion (as defined by 24 CFR, Part 51, Subpart C). No mitigation is required.	

Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5	Compliance Required?	Explanation and List of Compliance Documentation
Resources: HUD Site Contamination US EPA NEPAssist US EPA Envirofacts Ohio Tank Tracking & Environmental Regulations HUD Choosing an Environmentally Safe Site	No	The proposed project is not expected to produce any toxic, hazardous, or radioactive substances. Attached is a NEPAssist Report produced from the USEPA's NEPA Assist database for the project alignment and surrounding area. The report shows that there are no Superfund Sites, Brownfields, Toxic Substances or Toxic Release Sites located within the project area and adjacent areas. The NEPAssist analysis and Envirofacts RCRAinfo review did not indicate the presence of any hazardous waste (RCRA) facilities within the project alignment. The review did indicate Hazardous Waste (RCRA) Facilities to the south and north of the project area. However, these facilities are located at such a distance from the construction work that they will not be impacted by the project. Attached (Exhibit 10) is a listing obtained from the Ohio Bureau of Underground Storage Tanks Regulations (BUSTR) that identifies active underground storage tanks (USTs) for the New London area in Huron County. According to the online BUSTR review there are no active underground storage tanks currently in use within the project and adjacent properties. A review of the BUSTR Leaking Underground Storage Tank (LUST) database identified multiple sites in the New London area. However, there we're no former regulated UST sites within the project alignment or adjacent properties. The HUD Site Contamination Guidance is attached and was reviewed. This project does not involve any residential construction and does not conflict with these regulations. See EXHIBIT 10 for NEPAssist report, RCRAinfo review and BUSTR listings. Although no mitigation is required for any toxic, hazardous, or radioactive substance, the Grantee will still be asked to follow the Occupational Health and Safety Administration (OSHA) guidelines during construction. Contractors shall be notified regarding the presence of utilities near the project areas during the pre-construction meeting. Emergency numbers for the local power company, gas company, and other utilities shall be included in th
Environmental Justice Resources:	No	The USEPA defines environmental justice as follows: "Fair treatment means no group of people, including racial, ethnic or socioeconomic groups should bear

Statutes Everythin Orders and Beautification Committee		
Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5	Compliance Required?	Explanation and List of Compliance Documentation
HUD Environmental Justice US EPA Environmental Justice US EPA EJSCREEN		a disproportionate share of the negative environmental consequences resulting from industrial, municipal or commercial operations or the execution of federal, state, local and tribal programs and policies".
		According to the U.S. Census Bureau, the 2019 population American Community Survey (ACS) estimates for the Village of New London was 2,517. The population by race was 97.0% White, 1.5% Black or African American, 0.9% Asian, 0.2% Native Hawaiian and other Pacific Islander, and 0.5% as two or more races. The 2018 ACS indicates that the median household income for the Village was \$36,360 with a poverty rate of 25.9%. See (https://api.census.gov/data/2019/acs/ac5/profile)
		The proposed project will provide the residents of the Village of New London with an improved water distribution system necessary to ensure a safe and reliable water supply. Grant funding from Huron County's Critical Infrastructure Grant and the Village of New London's Economic Revolving Loan Funds will cover a significant amount of the project construction costs.
		The proposed project will not generate hazardous wastes and has been developed to minimize environmental impacts. There were no significant adverse environmental socio-economic impacts identified as part of this environmental review and therefore no mitigation is required. Temporary and minor disturbances to noise, traffic and dust are anticipated effects of the project. Overall, the project is expected to maintain and improve the quality of life for residents by providing reliable and safe drinking water.



Environmental Assessment Checklist Instructions:

Evaluate the significance of the effects of the proposed activity on the character, features, and resources of the project area. Provide a narrative explanation and list of supporting documentation. The narrative must explain decision-making and compliance procedures. Attach all supporting documentation to this worksheet. For technical assistance, see HUD's Environmental Assessment Factors Guidance.

Land Development		
Impact Category	Impact Code	Explanation and List of Source Documentation
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	No Impact Anticipated	The proposed project is located within the incorporated limits of the Village of New London, Huron County, Ohio. According to the Village Zoning Map, the proposed project areas are designated as primarily low density residential, along with a smaller area designagated as general commercial. The project will be compatible with current land uses in the project area which are primarily committed to residential, and commercial uses. The project will not result in a change of land use. No easements are expected to be required as work will be conducted in existing street right of way.
Soil Suitability / Slope / Erosion / Drainage / Storm Water Runoff	Yes	According to the Natural Resources Conservation Service Soil Web Mapper, soils in the project area are mapped as the Bennington Silt Loam and Orrville Silt Loam. These soils have been previously impacted during road, home, sidewalk and utility construction. The project areas releifs is flat-lying, approximately 0 to 1 percent slopes. The Bennington Series potential for surface runoff is high and depth to restrictive feature is 80 inches; while the Orrville soil has a low runoff potential and depth to restrictive feasure of 80 inches, Mitigation:

Land Development		
Impact Category	Impact Code	Explanation and List of Source Documentation
		Best management practices for erosion, drainage and storm water runoff will be required during construction. Construction areas will be mulched and seeded with native species following construction activities.
Hazards and Nuisances Including Site Safety and Noise	No Impact Anticipated	No adverse impacts involving hazards or nuisances, including site safety are anticipated. Although no mitigation is required for any toxic, hazardous or radioactive substance, the Grantee will still be asked to follow Occupational Health and Safety Administration (OHSA) guidelines during construction activities to ensure worker and public safety. This will include personal protection equipment to be worn by all contractors; and work zone signs and barriers to protect workers and notify and reduce public access. Contractors shall be notified regarding the presence of utilities near the project areas during the pre-construction meeting. Emergency numbers for the local power company, other utilities and emergency agencies shall be included in the Contractor's site health and safety plan. Noise will be controlled by using properly operating equipment and by utilization of construction equipment and vehicles during normal daylight hours only.
Energy Consumption	No Impact Anticipated	The project will require consumption of energy for power tools and mobile power equipment used during construction, however, this activity will not significantly increase the energy demand in the area, as much of the equipment will be mobile or portable. Following construction it is expected energy consumption for the water system will be similar to that currenity required. As such, no significant adverse energy impacts will occur as a result of this project.

And the state of t		
Socioeconomic		
Impact Category	Impact Code	Explanation and List of Source Documentation
Employment and Income Patterns	No Impact Anticipated	Due to the nature of the project, replacement of an existing water mains, it is not anticipated that employment or income patterns will experience any impact.
Demographic Character Changes, Displacement	No Impact Anticipated	The proposed project involves entirely within existing street right of ways that were formerly impacted by previous construction projects. The project involves replacement of existing infrastructure in road right of way and will not cause demographic changes or displacement.

Community Facilities and Services		
Impact Category	Impact Code	Explanation and List of Source Documentation
Educational and Cultural Facilities	No Impact Anticipated	No impacts to education or cultural facilities will occur as no such sites are within the project area. There will be no interruption to water service and following construction, all such facilities will continue to have access to water.
Commercial Facilities	No Impact Anticipated	No impact is anticipated to commercial facilities as result of the construction or completion of this project. Commercial facilities in the Village of New London have and will have access to the water supplied by this project.
Health Care and Social Services	No Impact Anticipated	Construction and completion of the project are not expected to impact health care and social services. Water service will not be interrupted during construction, and all health care providers and social services organizations in the project area will continue to have access to public water following completion of this project.
Solid Waste Disposal / Recycling	Requires Mitigation	There are no solid waste disposal or recycling centers within the project area boundary. The proposed project will not have adverse impacts related to solid waste disposal or recycling programs.

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- <u>4</u>	Comn	nunity Facilities and Services
Impact Category	Impact Code	Explanation and List of Source Documentation
		Mitigation: All solid waste and construction related debris shall be disposed in accordance with state and local solid waste disposal requirements, and at a site approved for such materials.
Waste Water / Sanitary Sewers	No Impact Anticipated	The project will not have an impact on wastewater and sanitary sewers in the project area. The Village of New London has a centralized sanitary sewer collection and treatment system. Completion of the proposed project will not have a negative impact on the wastewater system. Water line installation is designed to ensure minimum separation distance from sewer lines to ensure the wastewater collection system is not impacted. The location of sewage collection lines is included in design drawings and construction profiles to ensure avoidance. The wastewater treatment facility is not located in or near the project area.
Water Supply	Potentially Beneficial	No adverse impacts to water supply in the project area are anticipated. The Village has had many line breaks throughout this entire area causing the shutdown of lines and re-routing water through secondary lines. When this happens, it can and has caused issues with pressure in the lines, which has caused other lines to fail. In addition, the old lines no longer carry the capacity to flow enough water for adequate fire protection. This project will ensure a safe and reliable water supply for the entire Village, and an adequate supply for fire suppression.
Public Safety – Police, Fire and Emergency Medical	Potentially Beneficial	The project will not adversely impact public safety, police, fire and emergency medical services. Replacement of water mains in the project area will ensure an adequate water supply is available for emergency services.
Parks, Open Space and Recreation	No Impact Anticipated	No adverse impacts to public, open space or recreation areas are anticipated. Open areas or parks near the site and owned by the Village would still be available for use as needed by the Village or community.

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Community Facilities and Services		
Impact Category	Impact Code	Explanation and List of Source Documentation
		The proposed project will have no long-term adverse impacts on transportation or accessibility. However, short term traffic delays may occur near construction areas. Mitigation:
Transportation and Accessibility	Requires Mitigation	The contractor shall develop a traffic control plan prior to construction to ensure the safety of the public and contractors working on the project. At least one lane of traffic must be maintained along the travel route to the construction site. If roads must be temporarily closed for construction, the contractor must obtain approval from the Village or local road authority. The community residents and appropriate emergency officials will be notified in advance and detours posted.
	Access must be maintained for emergency vehicles at all times. Any necessary road /right of way permits shall be obtained before construction or demolition work commences.	

		Natural Features 1
Impact Category	Impact Code	Explanation and List of Source Documentation
Unique Natural Features, Water Resources	No Impact Anticipated	The project is confined to existing street right of way and there are no known unique natural features or water resources in or around the project area. There will be no impact to these resources.
Vegetation and Wildlife	No Impact Anticipated	The proposed project is not anticipated to have impacts on any endangered, threatened, candidate or other local species or other wildlife. The water line replacement project is within a developed urban area, within existing road

Natural Features		
Impact Category	Impact Code	Explanation and List of Source Documentation
		right of way that has been previously impacted by roadway and utility construction and maintained via mowing. There is no in-water work proposed as part of the project. Tree clearing will not be required as part of the project. The use of native vegetation species will be required for seeding all areas impacted and revegetated to avoid the spread of invasive species.
Other Factors	No Impact Anticipated	The project is not anticipated to produce any other adverse impacts. There are no direct or indirect cumulative impacts associated with the project.



24 CFR Section 58.6 Requirements

Airport Runway Clear Zones and Clear Zones Notification [24 C.F.R. Part 51.303(a)(3)]
Does the project involve the sale or acquisition of property located within a Civil Airport Runway Clear Zone or a Military Airfield Clear Zone?
No. Attach Source Document: (Project complies with 24 CFR 51.303(a)(3).)
Yes. Notice must be provided to buyer. The notice must advise the buyer that the property is in a Runway Clear Zone or Clear Zone, what the implications of such a location are, and that there is a possibility that the property may, at a later date, be acquired by the airport operator. The buyer must sign a statement acknowledging receipt of this information. (for a sample notice, see the HUD Exchange) (attach a copy of the signed notice)
Coastal Barrier Resources Act [Coastal Barrier Improvement Act of 1990 (16 U.S.C. 3501]
Is the project located in a coastal barrier resource area?
No. Cite or attach Source Document. (Proceed with project.)
Yes. Federal assistance may not be used in such an area.
Flood Disaster Protection Act* [Flood Disaster Protection Act of 1973, as amended (42 U.S.C. 4001-4128)]
Does the project involve acquisition, construction or rehabilitation of structures located in a FEMA-identified Special Flood Hazard Area?
☑ No. Attach copy of Flood Insurance Rate Map (FIRM)
Yes. Attach copy of <u>Flood Insurance Rate Map</u> (FIRM)
Is the community participating in the National Insurance Program (or has less than one year passed since FEMA notification of Special Flood Hazards)?
Yes. Flood Insurance under the National Flood Insurance Program must be obtained. If HUD assistance is provided as a grant, insurance must be maintained for the economic life of the project and in the amount of the total project cost (or up to the maximum allowable coverage, whichever is less). If HUD assistance is provided as a loan, insurance must be maintained for the term of the loan and in the amount of the loan (or up to the maximum allowable coverage, whichever is less). (Attach a copy of the flood insurance policy declaration)
No. Federal assistance may not be used in the Special Flood Hazard Area.
*Per 24 CFR 58.6(a)(3), this requirement does not apply to State-administered CDBG, HOME, and ESG programs.



Statement of Process and Status of Environmental Analysis

Instructions:

Provide a brief description of the administrative procedures associated with the construction and presentation of the environmental review record (ERR). List the Responsible Entity, Certifying Officer, the physical location of the ERR, the dates and comment periods associated with any public notices, and contact information for the submission of comments regarding the ERR.

The proposed project includes the replacement of 2,000 linear feet of water mains, water valves and fire hydrants in the Village of New London. The Huron County Commissioners will assist the Village with project with \$480,130 from Huron County Critical Infrastructure Grant funds. Project funds will also include \$17,634 from the Village of New London's CDBG Economic Development Revolving Loan Fund (RLF). Projects receiving CDBG funds must undergo an environmental review consistent with the requirements of Title 24 of the Code of Federal Regulations (CFR) Part 58. Public hearings were held as part of this review but were held prior to the applicant's submission to the State of Ohio.

Huron County is responsible for the preparation of the Environmental Review Record (ERR), decision making, litigation actions, and certification to the Ohio Department of Development that the ERR has been developed in accordance with 24 CFR Part 58. The Great Lakes Community Action Partnership prepared the Environmental Review Record (ERR) including the environmental assessment, statutory checklist, public notices, and Request of Release of Funds (RROF), on behalf of the County. Instructions were provided to the Huron County Commissioners office regarding the ERR file, public notices and RROF upon on submittal of the ERR to the County as follows:

- The FONSI and NOI/RROF may only be published when the Environmental Review Record (ERR) is complete and has been signed by the preparer.
- The FONSI and Notice of Intent to Request Release of Funds (NOI/RROF) will be published in a newspaper with general circulation that includes the proposed project area at least once. The notice must specify, at a minimum, a 15-calendar day period during which persons may evaluate and comment on the ERR. The first day the notice is published is considered day "0;" if the 15th day falls on a weekend or holiday, the period must be extended to the next business day. The record must be readily available for public inspection on the grantee's official website and/or a link to the ERR to the Ohio RCAP website on the first day of the comment period and must remain available until the Office of Community Development (OCD) issues a Project-Specific Release of Environmental Conditions (ROF). The grantee must also provide the ERR upon request electronically via email.
- No portion of the aggregated project may commence, and no funds may be committed, until OCD issues an ROF.
- Prior to submitting a Request for Release of Funds and Certification (RROF), the Responsible
 Entity must consider any comments received during the published local comment period and, if
 necessary, make final revisions to the ERR. The Responsible Entity's RROF may be only signed
 by the certifying officer after due consideration of all comments.
- At least one business day after the last day of the local comment period, the Responsible Entity
 may email 1) a signed copy of the RROF; 2) a copy of the published FONSI and NOI/RROF (as it
 actually appeared in the newspaper); and, if applicable, 3) any other environmental Notices (e.g.
 Floodplain Management notices) published in association with the project(s), to
 OCD@development.ohio.gov.

Statement of Process and Status of Environmental Analysis

- OCD observes a 15-day comment period beginning the date it receives a valid, executed RROF and associated FONSI and NOI/RROF.
- OCD will issue an ROF after the 15-day comment period following the receipt of the RROF and successful resolution of any objections received. While the Temporary Format for a FONSI and NOI/RROF is in effect, OCD will not mail a hard copy of the ROF. Grantees may view and download ROF documents in OCEAN.

Huron County is the Responsible Entity.

The Certifying Officer is Terry Boose, President, Huron County Board of Commissioners.



Description of the Site and Environmental Context

Instructions:

Determine existing conditions and describe the character, features, and resources of the project area and its surroundings. Identify the trends that are likely to continue in the absence of the project.

The project area is located within the Village of New London, Ohio. The Village is situated in southeast Huron County, near the border of Ashland County. Ohio State Route (SR) 60 traverses through the village in a north-south direction and SR 162 in an E to W direction. A CSTX railway line dissects the Village in a SW to NE direction.

The Village of New London is in the glaciated northern portion of the state. Local drainage eventually reports to Lake Erie which is located approximately 25 miles to the north. The dominant land use in the project area is residential and commercial. Primary land use surrounding the project area is agriculture.

The Village of New London operates a community public water system that serves a population of approximately 1,360 customers. The Village pumps water into the New London Reservoir from Buck Creek, a branch of the Vermillion River, and the average daily production of safe drinking water in 2020 was 348,000 gallons. The Village also has an emergency or back-up connection with the Rural Lorain County Water Authority. The Village also has a centralized wastewater collection and treatment system to serve residents and commercial facilities.

The proposed project involves the replacement of water mains connected to the Village water tower. The Village has experienced several line breaks in the project area and the current water mains are undersized for sufficient fire suppression. The project will replace 2,000 feet of water mains and install water valves and fire hydrants in the project area. Absent of this project, interruptions to service and potential contamination of water in the distribution system are possible with continued line breaks. In addition, the issue with inadequate water for fire suppression would continue.



Analysis of Alternatives

Instructions:

Examine alternatives to the project, including the alternative of no action.

Other Alternatives Examined:

The Waterline Project improvements include replacement of approximately 1,500 feet of existing 4-inch water main with a new 6-inch water main along SR 60/Park Avenue between Clyde Avenue and New London Avenue and replacement of approximately 500 feet of 2-inch water main with new 6-inch water main along South Main Street between Grove Street and 3rd Street. The existing 4-inch waterline was installed in the 1920's, early 1930's. It is one of the first main transmission lines that ties into the rest of the system. The project also replaces an aging 2-inch galvanized water main which removes a possible source of lead within the system and allows for the abandonment of an additional portion of the aging 4-nch main. The water main replacement is adjacent to the water tower and provides service to the remainder of the water system including the downtown area.

Due to the age and undersize of the existing water mains in the project area, rehabilitation (lining) was not considered a feasible option. Due to the age and undersize of the existing water mains in the project area, there was no other feasible alternative to be considered.

No Action Alternative:

Older waterlines are prone to breaking and/or leaking. When a break occurs and the waterline depressurizes, it provides an opportunity for contaminates to enter the water system. This will also cause an interruption in service to the customers while the lines are getting repaired. Since the proposed water line replacement area is next to the water tower, line breaks can influence much of the Village. Newer waterlines are made with materials that have greater ductility that are less prone to breaks, and therefore assist in providing high quality water. Absent of this project, there is concern of additional line failures which would jeopardize the distribution system and residents water supply, fire protection and public safety.



Analysis of Impacts and Mitigation Actions

Instructions:

Summarize and evaluate all potential environmental impacts, whether beneficial or adverse, and the conditions that would change because of the project. Describe measures to eliminate, minimize, or mitigate adverse environmental impacts.

The Village of New London Water Mains Replacement Project will have only minimal, short-term environmental impacts. No significant short-term or long-term adverse environmental concerns were identified as related to wetlands, floodplains, historic properties, wildlife habitat and threatened and endangered species, air quality, noise, farmland, socioeconomics, and other natural and cultural resources. The following describes measures to eliminate, minimize adverse environmental impacts:

HISTORIC PRESERVATION MITIGATION:

 Any excavation by the contractor that uncovers human remains, an archaeological site, historical or archaeological artifacts shall be immediately reported to the Owner, the Ohio Development Services Agency Community Development Services, and the Ohio State Historic Preservation Office (SHPO). Construction shall be immediately halted pending the notification process and further directions provided after consultation with SHPO and ODSA.

FLOODPLAIN MANAGEMENT:

- Construction within a floodplain area will require compliance with all local floodplain management regulations and permits, as applicable.
- Original land contours must be restored after completion of construction activities and impacted areas seeded with native non-invasive species as needed.
- Directional bore construction techniques shall be implemented at all stream crossings and floodplain areas in the project area.

ENDANGERED AND THREATENED SPECIES MITIGATION:

- No tree clearing is planned as part of the project. If there is a change in the project scope that includes tree clearing, the grantee shall implement seasonal tree cutting (clearing of trees ≥ 3 inches diameter at breast height (dbh) between October 1 and March 31) to avoid impacts to the federally listed endangered Indiana bat and threatened northern long-eared bat; and the state endangered little brown bat and tricolored bat.
- No in-water work is to occur, stream channels will be bored to avoid impacts to aquatic life and riparian areas.

AIR QUALITY MITIGATION:

- All construction vehicles shall be equipped with proper emissions control equipment.
- Conduct periodic maintenance of equipment and machinery for proper tuning to minimize exhaust emissions.
- Utilize best management practices and reasonably available dust control measures, as necessary, during construction to minimize dust generation.
- The open burning of construction material or other wastes is prohibited.

Analysis of Impacts and Mitigation Actions

NOISE MITIGATION:

- Power operated construction equipment shall not be operated between the hours of 8:00 pm to 7:00 am, or as otherwise determined by the owner or as required by local noise ordinance.
- Construction equipment will be provided with intake silencers and mufflers, as required by safety standards.

TRANSPORTATION MITIGATION:

- The contractor shall develop a traffic control plan prior to construction to ensure the safety of the public and contractors working on the project.
- At least one lane of traffic must be maintained along the travel route to the construction site.
- Access must be maintained for emergency vehicles at all times.
- If roads must be temporarily closed for construction, the contractor must obtain prior approval from Village
 officials. The community and appropriate emergency officials will be notified in advance and detours
 posted.
- Any necessary road right of way permits shall be obtained before construction commences.

EROSION CONTROL / STORMWATER RUNOFF MITIGATION:

- The use of best management practices for erosion, drainage and stormwater runoff will be required during construction.
- Construction areas will be mulched and seeded with native species following construction activities.

SOLID WASTE DISPOSAL/RECYLING:

All solid waste and construction related debris shall be disposed in accordance with state and local solid
waste disposal requirements, and at a site approved for such materials.

SITE CONTAMINATION:

Although no mitigation is required for any toxic, hazardous, or radioactive substance, the Grantee will still be asked to follow the Occupational Health and Safety Administration (OSHA) guidelines during construction and demolition; including, OSHA Lead Safe Work Practices during demolition activities to ensure worker and public safety.

Contractors shall be notified regarding the presence of utilities near the project areas during the preconstruction meeting. Emergency numbers for the local power company, gas company, and other utilities shall be included in the Contractor's site health and safety plan.

In addition, during construction activities, appropriate safeguards should be in place to ensure that groundwater and soils are protected from contamination. Such precautions would include notifying contractors and subcontractors as to the importance of not endangering groundwater, securing adequate precautions for fueling/servicing construction equipment, and developing contingency plans to handle any release of petroleum products or hazardous materials.



Monitoring and Enforcement Procedures

Instructions: Describe any post-review monitoring or enforcement procedures associated with environmental mitigation actions.
The Contract documents must contain a listing of all mitigation measures and the Contractor will be made aware of the measures required to be implemented during construction.
Upon completion of the project, the Contractor shall submit a written statement or certification asserting that no asbestos containing materials were used in any portion of the construction.



List of Sources, Agencies, and Persons Consulted

U.S. Fish & Wildlife Service IPac Website (https://www.fv	vs.gov/wetlands/)
Ohio Department of Natural Resources (Ms. Sarah Tebbe	a)
FEMA Flood Map Service Center (https://msc.fema.gov)	
Village of New London 2020 Consumer Confidence Repo	ort
Ohio State Historic Preservation Office (Mr. Stephen Bie	hl)
U.S. Environmental Protection Agency NEPAssist (https	://www.epa.gov > nepa > nepassist)
Ohio Department of Commerce - Ohio Bureau of Underg (https://www.com.ohio.gov.>fire.>BUSTRResources)	round Storage Tanks (BUSTR) Website
GRW Inc., 4678 New London WM Bid Set (3-24-20)	
NRCS Web Soil Survey (https://websoilsurvey.sc.egov.u	sda.gov/App/HomePage.htm)
U.S. Environmental Protection Agency EnviroFACTS We	bsite (https://enviro.epa.gov/)
Ohio EPA-Division of Air Pollution Control (https://www.	epa.state.oh.us/dapc/general/naaqs)
United States Census Bureau (https://data.census.gov/co	edsci/)
Shawn Pickworth, Village of New London Administrator	
Ohio SHPO on-line mapping system (https://www.ohiohistory.org/preserve/state-historic-pres	servation-office/mapping)
ODNR Coastal Management Interactive Map Viewer (http://coastal.ohiodnr.gov/mapviewers http://coastal.ohi	odnr.gov/mapviewer)
Ohio EPA Customer Support Center (https://ohioepa.cus	thelp.com/app/answers/list)
ODNR Division of Geological Survey Karst Interactive Ma (https://gis.ohiodnr.gov/website/dgs/karst_interactivemap/)	ap
ODNR Division of Mineral Resources Mines of Ohio Map (https://gis.ohiodnr.gov/MapViewer/?config=OhioMines)	ping
USFWS Coastal Barrier Resources System (https://https:	://www.fsw.gov/cbra/maps/index/html).



List of Site Visits and Important Meetings

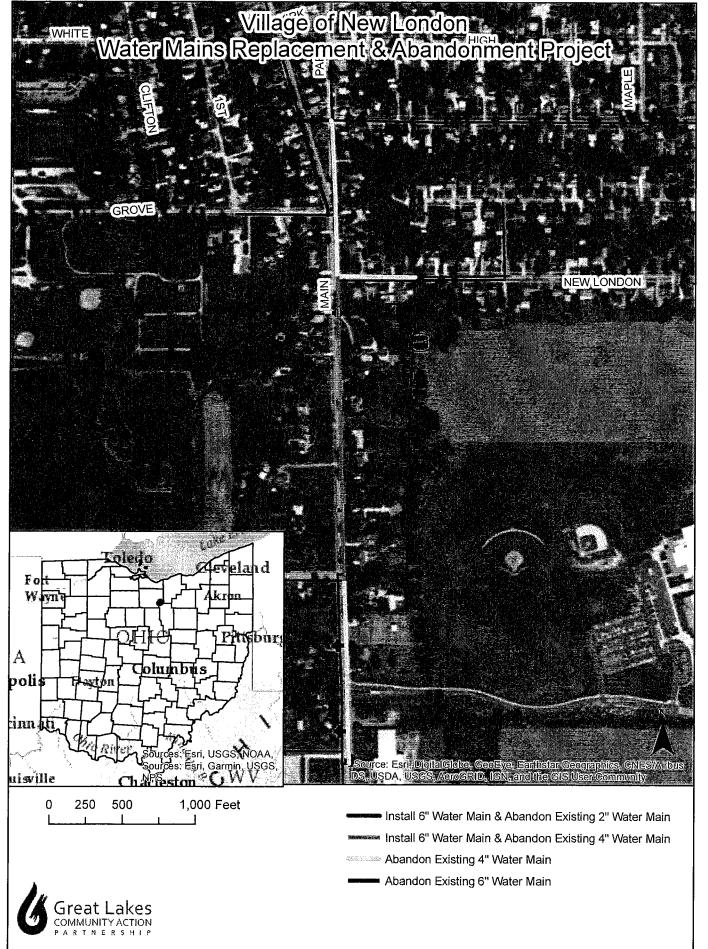
Date	Participants	Description
3/10/21	Huron Co Commissioners, RCAP, Public	CDBG Public Hearing No. 1
6/09/21	Huron Co Commissioners, RCAP, Public	CDBG Public Hearing No. 2
100 Table 100 Ta		
24		
	Harris	



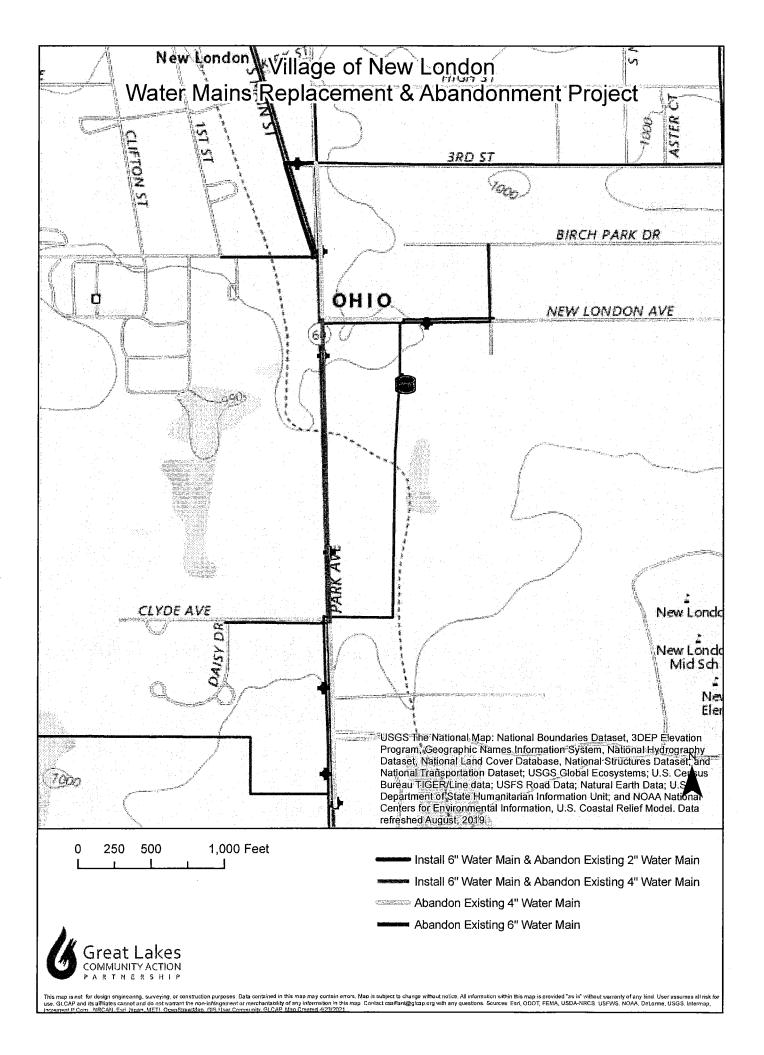
Participants in the Review

Name	Title	Organization
Ron Winland	Sr. Rural Development Specialist	Ohio RGAP
	2.30	
		1 23

SITE LOCATION MAP

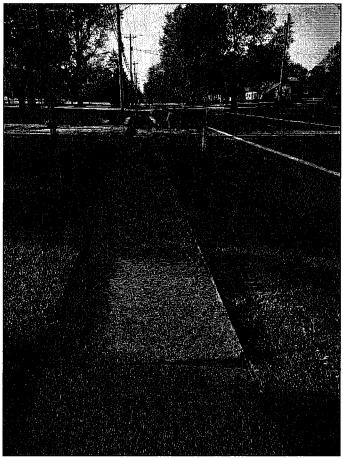


This map is not for design engineering, surveying, or construction purposes. Data contained in this map may contain errors. Map is subject to change without notice. All information within this map is provided "as is" without warranty of any kind. User assumes all make use. GLCAP and its affiliates cannot and do not warrant the non-infirmgement or merchaniability of any information in this map. Clearly map. Clearly and its affiliates cannot and do not warrant the non-infirmgement or merchaniability of any information in this map contact castian@glcap.org with any questions. Sources: Esri, ODOT, FEMA, USDA-NRCS, USPWS, NOAA, DeLorme, USGS, Intermap. Increment P. Groy, NRCAN, Esri Japan, MET. OpenStreatMap. GIS, User Community, GLCAP, Map Greated 47327321.

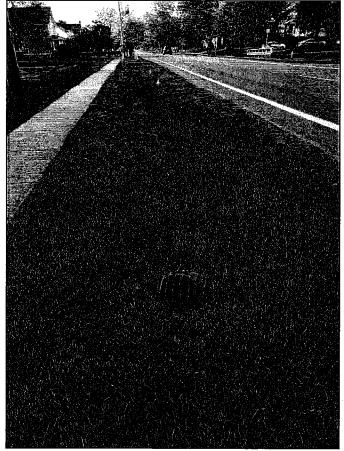


SITE PHOTOGRAPHS & FIELD NOTES CHECKLIST

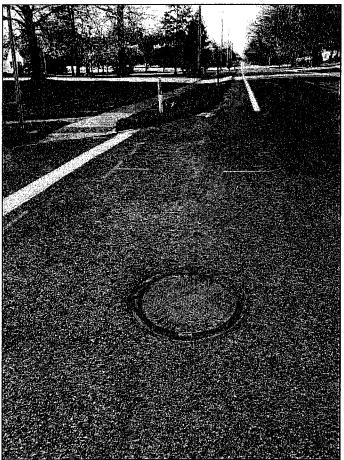
VILLAGE OF NEW LONDON WATERLINE PROJECT PHOTOS



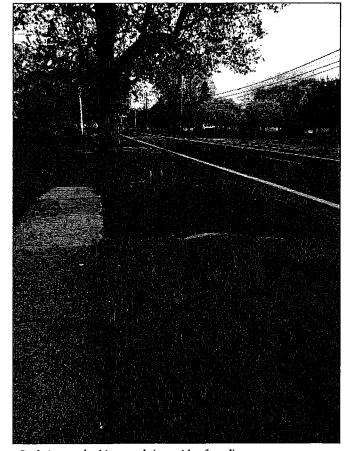
Park Avenue looking North toward intersection with Clyde Ave (west side of road)



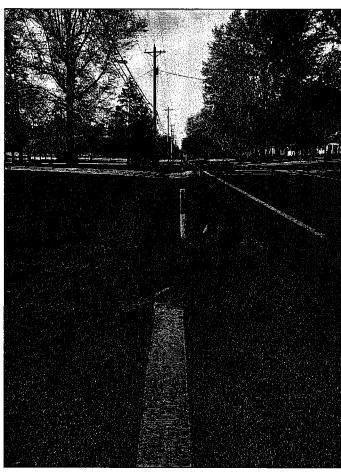
Park Avenue looking north (west side of road).



Intersection of Park Ave and Clyde Ave looking N (west side of road)



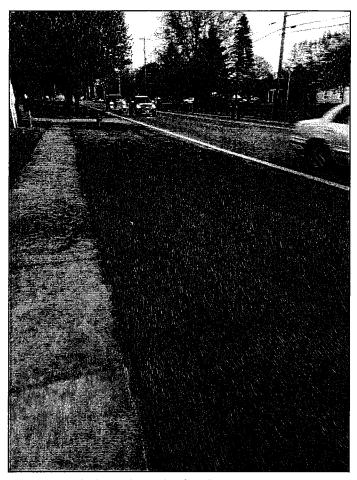
Park Avenue looking south (east side of road).



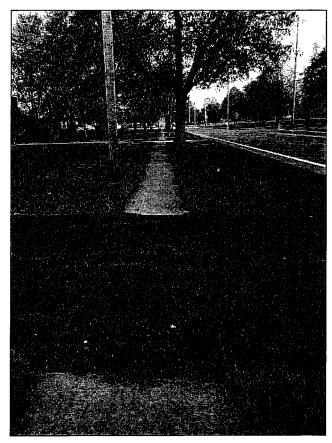
Park Avenue looking N from Clyde Avenue (west side of road)



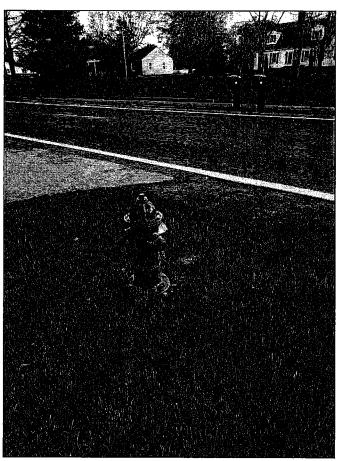
Waterway crossing along Park Avenue (east side of road).



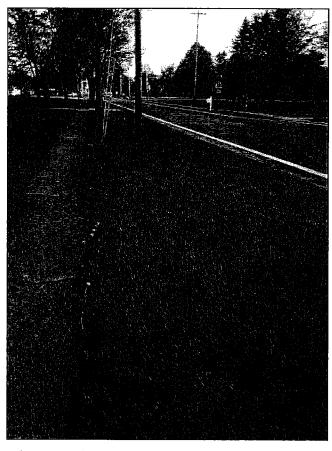
Park Avenue looking S (east side of road)



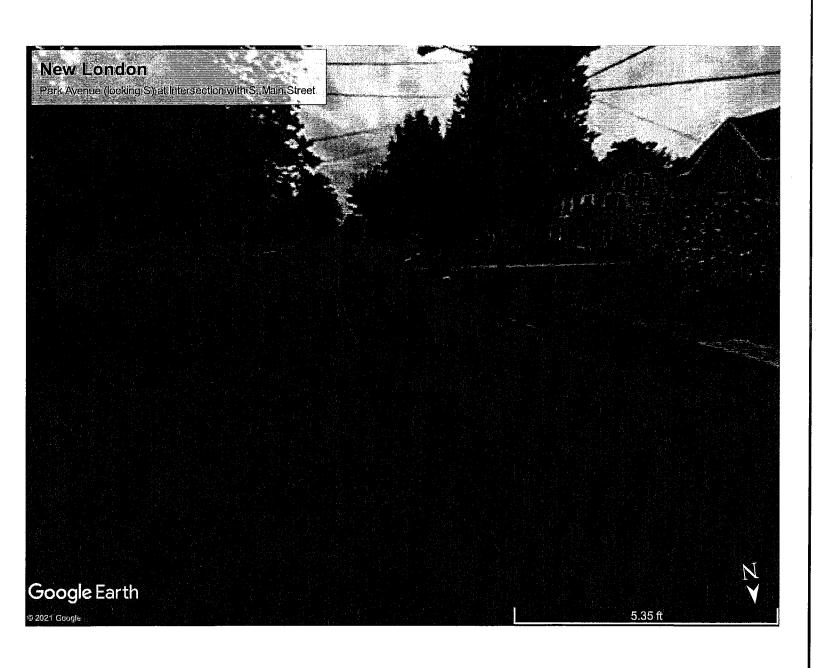
Park Avenue east side of road looking south

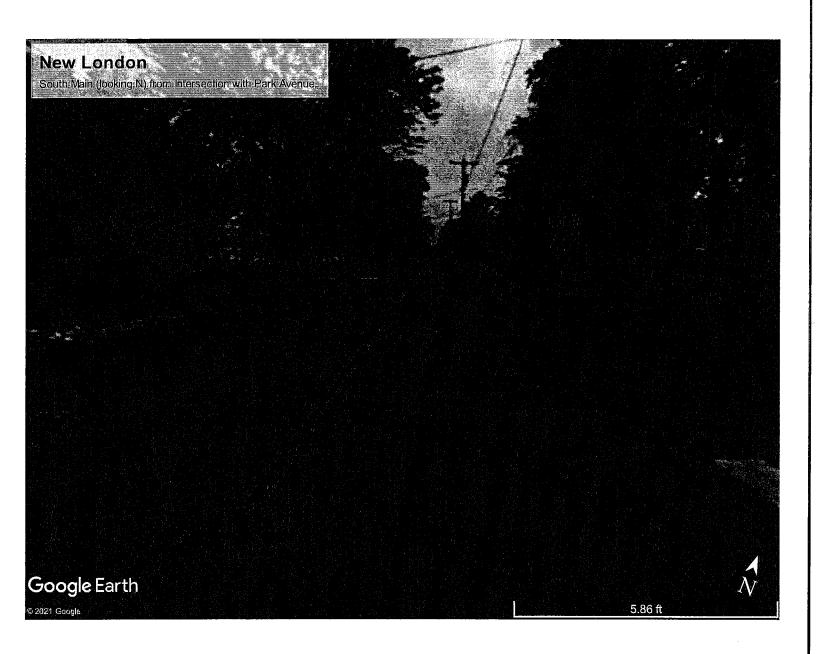


Park Avenue (east side of road)



Park Avenue and New London intersection looking S (eastside of Park)





OHCP Environmental Review Record Field Notes Checklist 6/99

This checklist is to be completed during the field visit to the project site and is to be attached to the environmental review record (ERR). It will constitute full documentation for some factors in the ERR, and partial documentation for other factors. Some factors on the Checklist require other kinds of documentation (e.g. contacts and correspondence with the State Historic Preservation Office, interviews and correspondence with fire and police, schools, etc.), so those factors are not included in this checklist.

Aggregate all activities that comprise the project (fund with HOME, ESG, CDBG, or any other funds. Provide answers to all questions that can be observed during the field visit. Use spaces provided for any supplemental information and/or for recording any recommended mitigation measures. Use additional sheets if necessary, but key additional information to the relevant questions.

Several different types of maps will be useful on the field visit, such as project plan or plat map, location map showing major features and facilities in the vicinity, USGS topographical map, zoning map, and land use map. Many of the conditions observed can and should be recorded directly on the project plan. Distances to major features and facilities (e.g., schools and fire stations) and a description of the surrounding area are examples. The plan can then be referenced as "source/documentation" on the EA form.

Section 1: General Project Information

Grant Agreement Number(s): Critical Infrastructure Grant # B-X-20-1BJ-1 (Huron County)
Single year or Multi-Year: Single
General or Tier Review: Environmental Assessment
Project Name: Village of New London Water Mains Replacement Project
Activity Name(s) and Grant Agreement Attachment A Number: Water Facility Improvements
Lacation (Street Address, City, Township, County): New London, Huron County
Brief Description of Aggregated Project: Project consist of the replacement of undersized and deteriorated water mains.
The water mains that will be replaced are located along Park Avenue (Route 60) and S. Main Street south of downtown New
London. Several water valves and hydrants will also be replaced/installed.
1. Project is in a location described as : Central City Suburban Infill Urban Development
In a Developing Rural Area In an Undeveloped Area V.//Aux - Developed/
2. Project is served by: Paved Access Public Water Public Sanitary Sewer Public Storm Sewers
Gas Electric Gother Utilities (Specify)

3.	Is the project an addition to existing development?
4.	Are there existing buildings on the site? Yes No
5.	Is the site covered with trees and non-agricultural yegetation? Yes No
6.	Is the site presently being farmed? Yes No
	Section 2: Noise
7 .	Is the project within 1,000 feet of a major road/highway/freeway? Yes No
8.	Is the project within 3,000 feet of a railroad? Yes No
9.	Is the project within 15 miles of a military airfield? Yes No
1:0:	Is the project within 5 miles of a civil airport? Yes No
140131	was answered to any question 7 - 10, then a noise assessment must be conducted. For airports, use adopted Day/Night e Level (DNL) Contours. For projects environments that exceed HUD noise standards, mitigation measures must be lucted.
	Section 3: Floodplain/Wetlands/Coastal Zones
11.	Are there drainage, streams, rivers, or coastlines on or near the site? Yes No
12.	Is the project or access in the floodplain? Yes No (If the project is in the floodplain compliance will require following the 8 step process.)
12.	Are there ponds, marshes, bogs, or evidence of jurisdictional wetlands on or near the site? Yes No
13,	Are there soils or vegetation characteristic of wetlands on or near the site? Yes No
	Section 4: Hazards
<u>1</u> 4.	Are industrial facilities handling explosive or fire-prone material such as liquid propane, gasoline, or other storage tanks visible from the project site? Yes No
	If yes, check for compliance with 24 CFR Part 51 C, using HUD Hazards Guidebook

				_			
15.	Is the project within 3,0 If yes, check for complia	00 feet from the nce requirement	end of a runwa s at 24 CFR Par	ay at a civil airport?	Yes No		
1.6.	Is the project within 2 1/2 If yes, check for complia	miles from the e	nd of a runwa s at 24 CFR Pap	y at a military airfield? £51.	☐ Yes ☐ N	la	
17.	Is the project near dump	o or landfill site?	Yes I	No			
18.	is the project near an in	dustry disposing	of chemicals or	hazardous wastes?	J Yes P No		· · · · · · · · · · · · · · · · · · ·
							
	Sec	tion 5: Compa	tibility with S	urrounding Develo	pment		
19.	Is the project compatible Yes	with surroundir	ng area in term	s of:			
Land U	in the second			Toyking Managina	Yes	/ No	
	Bulk, Mass			Texture, Materials			
	g Density			Building Type (Low/r			
,	-4			Building Arra	· _/		
				Light/shadow and Ve	entilation:	الا	
Setback	0		Landso		ك لا		
	PROJECT]	NSTALL AT	10N 15 5	SUBSURFACE	·	 -	· · ·
		<u>.</u>					
20.	Will the project be undu	ly influenced by:					
		Yes No			Yes	No 🗸	
Building	g Obsolescence			Transition of Land Use	es 🔲		
Vacant	Buildings			Transition in Density			-
Building	g Deterioration			Non-conforming Con-	versions \Box	a	1
Postpor	ned Maintenance			Incompatible			
Obsolet	te Public Facilities			Inadequate off-street I			
Building	gs Crowding Land						
			· · · · · · · · · · · · · · · · · · ·				- · · · · · · · · · · · · · · · · · · ·
							

Section 6: Site Accessibility, Parks and Recreation, Commercial/Retail, Transportation

21.	Is the project accessible to employment, shopping, and services? Yes No
22.	Are parks and play spaces available on site or near by? Yes No.
23.	Are commercial/retail shopping centers nearby? Yes No
24.	Is public transportation service available? Yes No
	Section 7: Physical Site Suitability
25.	Slopes are: Not applicable Steep Moderate Slight
26.	Is there evidence of slope erosion? Yes No (Such as extensive gullies/small ravines? Bowed retaining walls? Washing away of top-soil and grasses? Tree movement? Fire scars?)
27.	Is there evidence of unstable slope conditions? Yes No (Such as trees perpendicular to slope? Vertical cracks at top of slope? Tilted utility poles? Hummocky-undulations on mid to lower slopes?)
28.	Is there evidence of ground subsidence on the site? Yes No
	Section 8: Soil Suitability and Erodibility
29. 30.	Soils are: Loose, Fine Grained Silts Gravel/sands Clay (Hard/dry) Non-expansive Moderately Expansive Highly Expansive Mix of (Check Appropriate Boxes) Are there visual indications of filled ground? Yes No (Materials loosely piled on ground? Loose vegetation? Earth has graded appearance or topography appears unnatural in grade as related to the vicinity?)
31.	Are there active rills and gullies on site? Yes No
32.	Is there off-site drainage to site? Yes No
	Section 9: Natural Hazards
33.	Will the project be affected by: Yes No Yes (No)
Faults, F	Fractures
Cliffs, Bl	uffs, Crevices

Slope-failures from Rains	Poisonous Plants, Insects, Animals		
Unprotected Water Bodies	· · · · · · · · · · · · · · · · · · ·	_	
Hazardous Terrain Features			
Section 10: M	lan-made Hazards and Nuisances		
34. Will the project be affected by:			
Hazardous Street Conditions Dangerous Intersections	Rail Crossing Hazards	Yes	No.
Inadequate Street Lighting	Hazards in Vacant Lots Chemical Tank-car Terminals		
Sanitary Landfills or Mining Operations	Trucking Terminals		
Industrial Operations	Other Hazardous Chemical Storage		d 2
High Pressure Gas Transmission Lines	Overhead Transmission Lines		
Hazardous Cargo Transportation Routes	Oil and Gas Wells		ð
Through Traffic Problems	ASTM Phase I Identified Hazards		*
Inadequate Screened Drainage Catchment	j Children's Play Area Located near		
Structures	High Volume Traffic Ways		d ,
Inadequate Separation of Pedestrian	Unscreened Quarries or Other		
And Vehicle Traffic	Excavations		
the state of the s			
· · · · · · · · · · · · · · · · · · ·			
35. Will the project be affected by:			
Gas, Smoke, Fumes Yes No	Yes No Unsightly Land Uses		
Odors	Front-lawn Parking	/	
Vibration	Abandoned Vehicles		
Glare from Parking Areas	Rodent and Vermin Problem	j	
Billboard Encroachment	Industrial Nuisances	!	

Vacar	nt/boarded up Buildings		ø		Other			ď
36.	Are there air pollution	generat	ors near		on 11: Air Quali		, No	
Incine Power	rindustry rators generating plants ineries tos	Yes			Large parking f ≥ Six lanes of ti Indoor Lead	,	Yes	
37. 38. 39.	Is the project near natu Is the project near publ Are there natural resou	ral feati	ures such vate scer	n as bluf nic river:	s or areas? \square Yo	Yes No_		
	*	s	ection	13: Ad	dditional Docul	mentation		
								7
				:				

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EXHIBIT 1

HISTORIC PRESERVATION



In reply refer to: 2021-HUR-51211

April 29, 2021

Ron Winland Ohio Rural Community Assistance Program (RCAP) 340 Walker Drive Zanesville, Ohio 43701

RE:

Section 106 Review

Huron County CDBG Critical Infrastructure Program

Grant Number: B-X-20-1BJ-1

Village of New London: Water Mains Replacement Project (Park Avenue & S. Main Street)

Dear Mr. Winland:

This letter is in response to correspondence received on April 21, 2021, regarding the proposed water mains replacement project along Park Avenue and S. Main Street in the Village of New London, Huron County, Ohio. We appreciate the opportunity to comment on this project. The comments of the State Historic Preservation Office (SHPO) are made in accordance with the provisions of Section 106 of the National Historic Preservation Act of 1966, as amended, and the associated regulations at 36 CFR Part 800. The project will be partially funded by the Huron County CDBG Critical Infrastructure Program and from the Village of New London's CDBG Revolving Loan Funds (RLF).

The proposed project will involve the installation of approximately 2,000 LF of 6-inch diameter water mains. This will be installed via horizontal directional boring except at locations where new water main taps will occur. A backhoe will be used to make these tap connections. The older water lines will be abandoned in place. The entire planned activities will take place within the existing right-of-ways (ROW) of Park Avenue between Clyde Avenue and New London Avenue, and South Main Street between Grove Street and 3rd Street, which is defined as the direct Area of Potential Effect (APE). In addition, a 2-inch galvanized water main which is adjacent to the existing water tower will be replaced. According to our records, no historic properties or districts are documented within the APE, although one Determination of Eligibility property is present along Park Avenue but will not be impacted by the proposed project. Given the previous disturbances associated with street and utility construction, it is our opinion that this project has little to no potential to impact intact archaeological deposits. Therefore, as proposed, the project will have no effect to historic properties. No further coordination is required for this project unless the scope of work changes or archaeological remains are discovered during the course of the project. In such a situation, this office should be contacted as required by 36 CFR § 800.13. If you have any questions concerning this review, please contact me via email at sbiehl@ohiohistory.org. Thank you for your cooperation.

Sincerely,

Stephen M. Biehl, Project Reviews Coordinator (archaeology)

Resource Protection and Review State Historic Preservation Office

test M. Biell

cc: Tim Allen, ODSA (Timothy.Allen@development.ohio.gov)

RPR Serial No. 1088300

Village of New London Water Mains Replacement Project - CDBG Environmental Assessment - Huron Co

Ronald Winland <rlwinland@glcap.org>

Wed 4/21/2021 4:23 PM

To: section106@ohiohistory.org <section106@ohiohistory.org>

1 attachments (23 MB)

106 Submittal - New London Water Mains - CDBG EA.pdf;

Ohio Historic Preservation Office

Department Head & Deputy State Historic Preservation Officer for Resource Protection & Review
800 E. 17th Avenue
Columbus, OH 43211

Hello:

The Village of New London is in the process of performing an environmental review pursuant to the National Environmental Policy Act for the Ohio Development Services Agency (ODSA) in order to assess the environmental impacts of the above referenced project. Enclosed is a Section 106 Review-Project Summary Form and attachments that include a project description, mapping, site plans, and photos.

We are requesting your review of the project summary form and attachments.

Thank-you.

Ron Winland
Sr. Rural Development Specialist
Ohio Rural Community Assistance Partnership
340 Walker Drive
Zanesville, OH 43701
PH: 740-891-3364
rlwinland@glcap.org





April 21, 2021

Ohio Historic Preservation Office

Attn: Diana Welling

Department Head & Deputy State Historic Preservation Officer for Resource Protection & Review

800 E. 17th Avenue Columbus, OH 43211

RE: Village of New London – Water Mains Replacement Project (Park Avenue & S Main Street)

CDBG-Critical Infrastructure Grant Program
Section 106 Review – Project Summary Form

Huron County, Ohio

Dear Diana:

The Village of New London is in the process of performing an environmental review pursuant to the National Environmental Policy Act for the Ohio Development Services Agency (ODSA) in order to assess the environmental impacts of the above referenced project. This project will be funded in part through a CDBG Critical Infrastructure Grant funding. The Ohio Rural Community Assistance Partnership is assisting the Village with the preparation of an Environmental Review Record for the project.

Enclosed is a Section 106 Review-Project Summary Form and attachments that include a project description, mapping, site plans, and photos. We are requesting your review of the project summary form and attachments. We would appreciate a response within 30 days of receipt of this correspondence if possible. If you need further information or wish to discuss the project please contact me at 740-891-3364 or riwinland@glcap.org.

Sincerely,

Ron Winland

Ron Winland
Sr. Rural Development Specialist
Ohio Rural Community Assistance Program (RCAP)

Enclosures: Project Summary Form & Attachments



OHIO HISTORIC PRESERVATION OFFICE: RESOURCE PROTECTION AND REVIEW

Section 106 Review - Project Summary Form

SECTION 1: GENERAL PROJECT INFORMATION

- a. Project Info:
 - 1. This Form provides information about: NEW PROJECT SUBMITTAL
 - 2. Project Name: New London Water Mains Replacement Project
 Park Avenue & S Main Street
 - 3. Internal tracking or reference number (if applicable): NA
- b. Project Address: Park Avenue and S. Main Street, Village of New London
- c. City/Township: Village of New London County: Huron
- d. Federal Agency and Agency Contact: NA
- e. Type of Federal Assistance: CDBG Critical Infrastructure Grant
- f. State Agency and Contact Person (if applicable): ODSA / Tim Allen
- g. Type of State Assistance: NA
- h. Is this project being submitted solely under ORC 149.53? No
- i. Consultant and/or Applicant Contact Person:

Ron Winland

Ohio RCAP

rlwinland@glcap.org

740-891-3364

- j. Consultant and/or Applicant Project Reference Number: NA
- k. Public Involvement: Village Council Meetings and CDBG Public Meetings.
- Other consulting parties: None

m.

SECTION 2: PROJECT DESCRIPTION AND AREA OF POTENTIAL EFFECTS (APE)

Project Location:

a. USGS Quad Map Name: New London, Ohio

b. Township/City/Village Name: Village of New London

Does this project involve any Ground-Disturbing activity: Yes

c. General description of width, length and depth of proposed ground disturbing activity:

Approximately 2,000 feet of six (6) inch water mains that will be installed with a minimum cover of 4 feet. Most of the construction work will be competed via horizontal directional drilling. In areas where the new water main will be tapped for customers, a backhoe will be utilized for excavation work will be required. Old water lines that will no longer be required will be abandoned in place.

Narrative description of previous land use and past ground disturbances, if known:

The proposed project will occur within existing village road right of way. The project area was previously impacted during road, driveway and sidewalk construction.

d. Narrative description of current land use and conditions:

Current land use of the project area is primarily single family residential, with a scattering of commercial operations. The area is well maintained with established development.

e. Does the landowner know of any archaeological resources found on the property?

No, the landowner is not aware of any archaeological resources on the site. A review of the OHPO on-line records also does not indicate the existence of archaeological resources within the proposed project areas.

f. Provide a street-level map indicating the location of the project site;

See Attached Maps

g. Provide a detailed description of the project:

See Attached Project Description

h. Area of Potential Effect:

See Attached Maps

i. Verbal description of the APE:

The Village of New London is located within Huron County in northern Ohio. The project area is located to the south of downtown New London. The APE includes the area where water line main installations will occur along South Main Street and Park Avenue.

SECTION 3: IDENTIFICATION OF HISTORIC PROPERTIES

- a. <u>Background Research</u> An OHPO On-Line Records search was conducted. A site visit was conducted and photos were obtained of the project area.
- b. Field Survey See attached photos of project area.
- c. Eligibility Evaluation: NA
- d. <u>Historic Properties Present in the APE</u>: An on-line records search indicatese historic properties are present within the APE. See attached OHPO On-Line search results.
- e. Reporting Options: OHPO On-Line Records Search and Site Visit

SECTION 4: SUPPORTING DOCUMENTATION

- a. Provide photos of the entire project site: Attached
- b. Provide current photos of all buildings/structures/sites described: Attached
- c. Project plan, specifications, site drawings and any other media presentation that conveys detailed information about your project and its potential to affect historic properties. **Engineering site drawings are attached.**
- d. Copies or summaries of any comments provided by consulting parties or the public. **None**

SECTION 5: DETERMINATION OF EFFECT

No historic properties will be affected based on 36 CFR § 800.4(d) (1). Please explain how you made this determination:

The OHPO on-line records review does indicate the presence of historic structures in the APE. However, water main installations will be underground and in previously disturbed Village right of ways. These right of way areas were previous disturbed during road, sidewalk, driveway and utility construction. In addition, the installation of water mains will primarily be completed via horizontal directional drilling which will minimize subsurface impacts. Based on this information, it is our determination that no historic properties will be affected by the proposed project.

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Legend

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National Historic Landmark

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Determinations of Eligibility

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▲ Archaeological Sites

Historic Structures

Historic Bridges

■ Historic Tax Credit Projects

Local Designations

OGS Cemeteries Confident

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★ Historic Markers

Dams

- UTM Zone Split

1: 34,715

Copyright/Disclaimer

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This map is a user generated statio output from an Internet mapping site and is for generalThis map is a user generated static output from an internet mapping site and is for general reference on in, Data layers that appear on this map may or may not be accurate, content, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION.

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PROJECT DESCRIPTION AND NARRATIVE VILLAGE OF NEW LONDON WATER MAINS REPLACEMENT PROJECT HURON COUNTY, OHIO

Huron County is requesting \$480,300 from the CDBG Critical Infrastructure Grant program for a waterline project in the Village of New London.

The Waterline Project improvements include replacement of approximately 1,500 feet of existing 4" water main with a new 6" water main along SR 60/Park Avenue between Clyde Avenue and New London Avenue and replacement of approximately 500 feet of 2" water main with new 6" water main along South Main Street between Grove Street and 3rd Street. The project includes transferring services to the new water main and abandoning the existing 2" and 4" water main within these areas. In addition, the project includes transfer of services to newer mains and abandoning the 4" water main along Park Avenue from 400' south of Wildcat Drive to Clyde Avenue and from New London Avenue to 3rd Street, the 6" main on 3rd Street between South Main Street and Park Avenue, and along New London Avenue between Park Ave and the water tower.

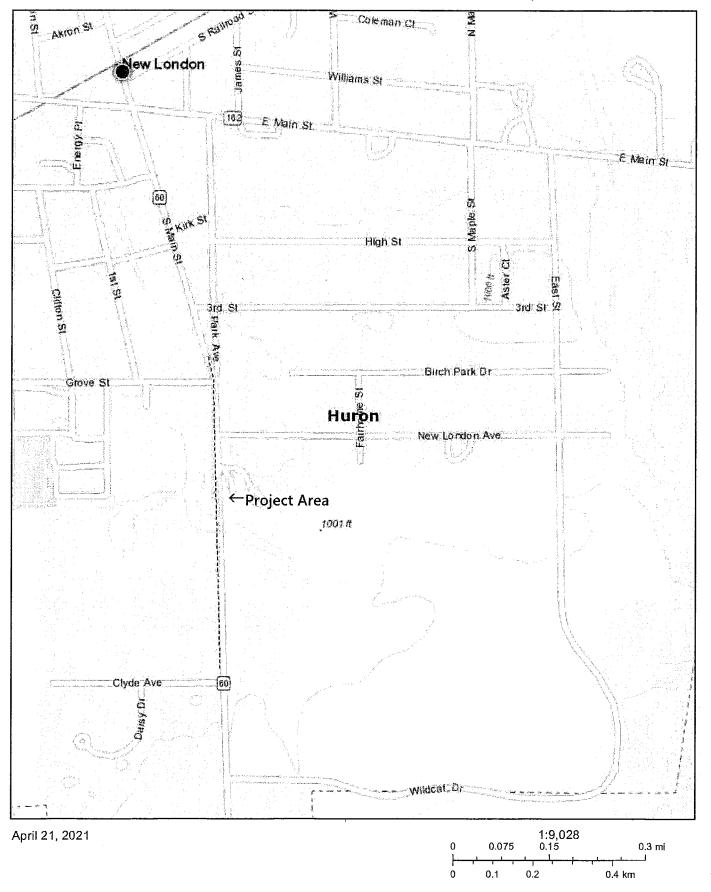
The existing 4 inch waterline was installed in the 1920's, early 1930's. It is one of the first main transmission lines that ties into the rest of the system. The main along Park Avenue still acts as a secondary transmission main between the water treatment plant and water tower. Over the years, the Village has had many line breaks throughout this entire area causing the Village to shutdown lines and reroute water through secondary lines. When this happens, it can and has caused issues with pressure in the lines, which has caused other lines to fail. Last year they had three breaks within one week in this area on the coldest days of the year and other breaks throughout the year. In addition, the old line no longer carries the capacity to flow enough water for adequate fire protection.

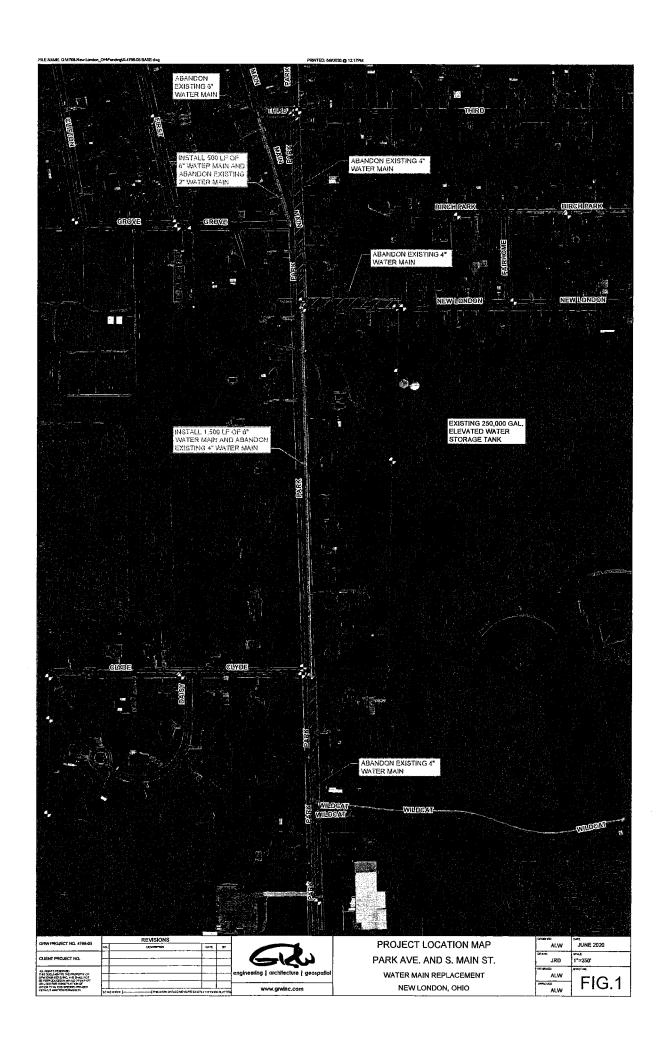
The project also replaces an aging 2 inch galvanized water main which removes a possible source of lead within the system and allows for the abandonment of an additional portion of the aging 4 inch main. The water main replacement is adjacent to the water tower and provides service to the remainder of the water system including the downtown area.

Construction work will occur within existing Village road right of way. Installation of water mains will be completed via Horizontal Directional Drilling which will minimize subsurface impacts. Existing water mains that will no longer be utilized will be abandoned in place. Some backhoe work will be required in order to connect the new water mains to existing customer service lines. There is no tree removal planned as part of the project and no wetlands will be impacted. There is one stream channel located within the project alignment; and the water main will be installed by boring beneath the stream to avoid impacts.

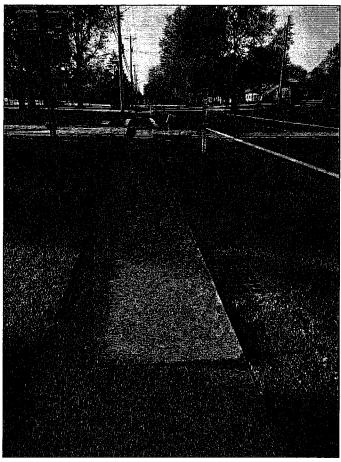
Huron County will use Critical Infrastructure funds, along with leveraging from the Village of New London's RLF and Water Fund for engineering services, general administration, environmental review, contract management, and audit and close-out.

Location Map - New London Water Mains Replacement

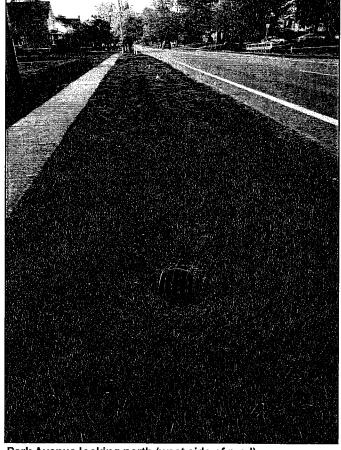




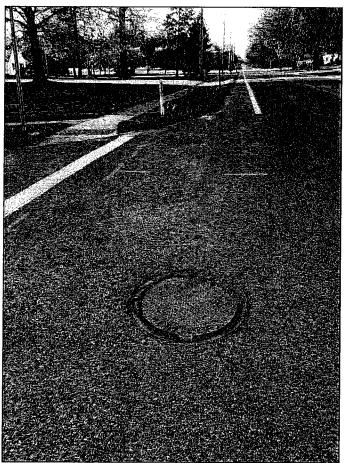
VILLAGE OF NEW LONDON WATERLINE PROJECT PHOTOS



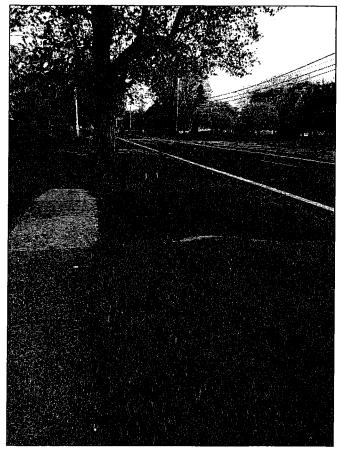
Park Avenue looking North toward intersection with Clyde Ave (west side of road)



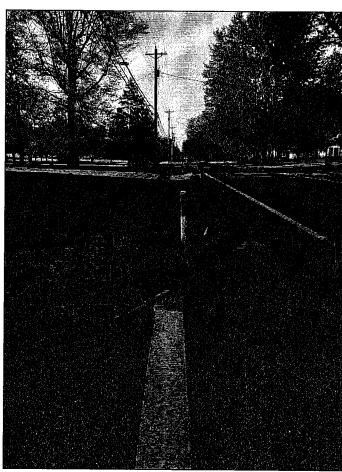
Park Avenue looking north (west side of road).



Intersection of Park Ave and Clyde Ave looking N (west side of road)



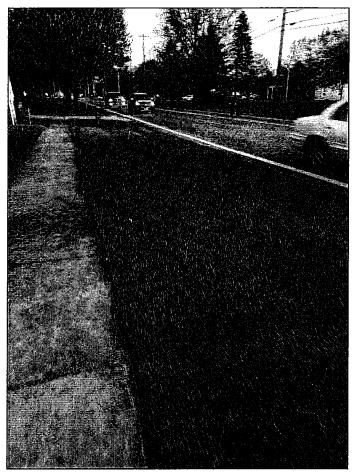
Park Avenue looking south (east side of road).



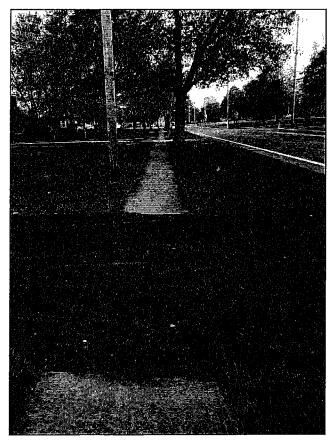
Park Avenue looking N from Clyde Avenue (west side of road)



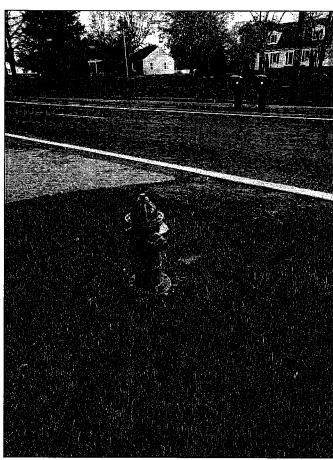
Waterway crossing along Park Avenue (east side of road).



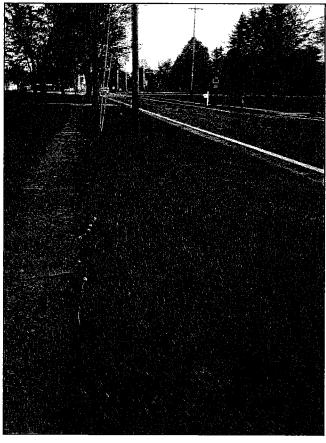
Park Avenue looking S (east side of road)



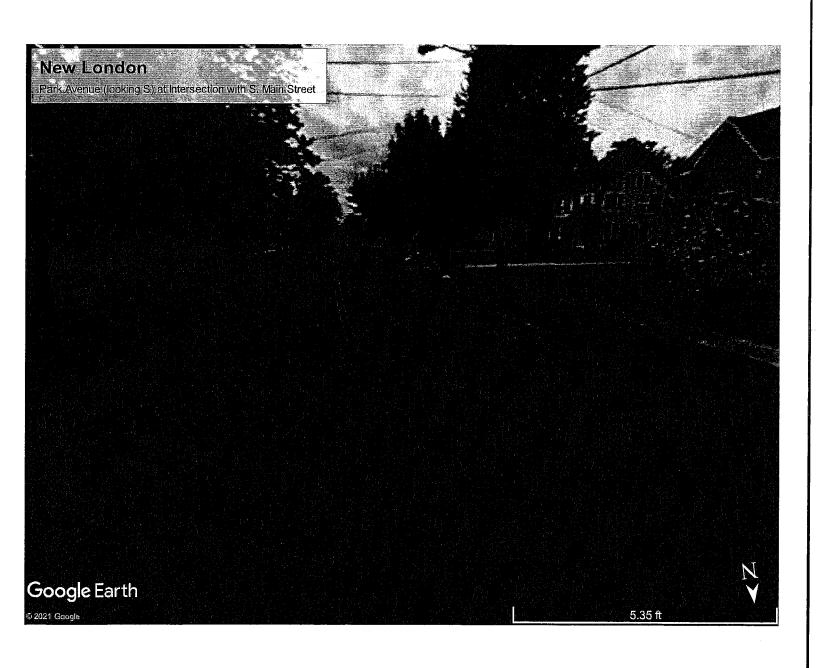
Park Avenue east side of road looking south

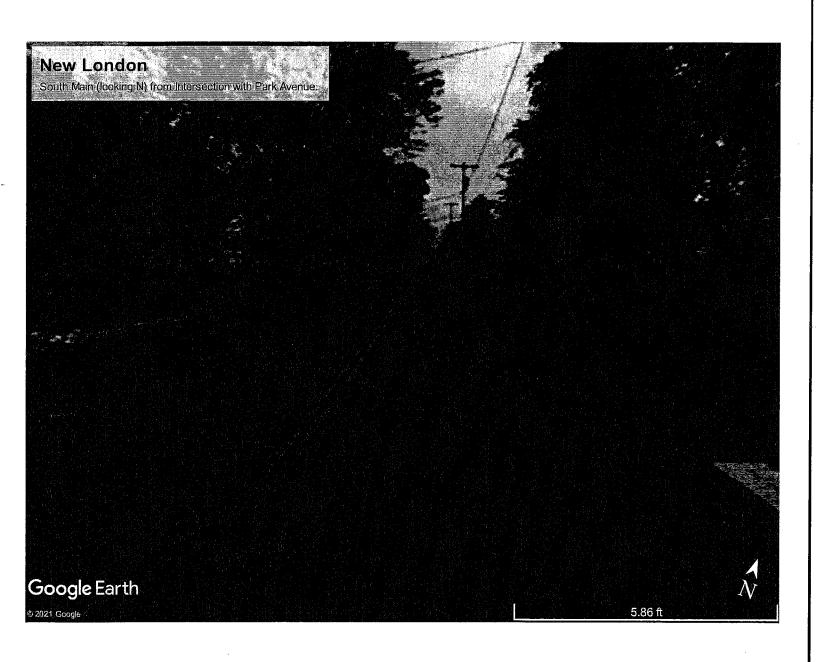


Park Avenue (east side of road)



Park Avenue and New London intersection looking S (eastside of Park)





VILLAGE OF NEW LONDON PARK AVENUE & S. MAIN STREET WATER MAIN REPLACEMENT PROJECT

NEW LONDON, OHIO

MAYOR ROBERT R. THOMAS II

VILLAGE COUNCIL,
STUART COOKE - COUNCIL PRESIDENT
STEVE BALL - COUNCIL MEMBER
JANICE MYERS - COUNCIL MEMBER
WILLIAM CURTIS - COUNCIL MEMBER
JENNIFER BALL - COUNCIL MEMBER

MICHAEL WILLIS - COUNCIL MEMBER

VILLAGE ADMINISTRATOR
SHAWN PICKWORTH

WATER / WASTEWATER SUPERINTENDENT JOHN CHAPIN

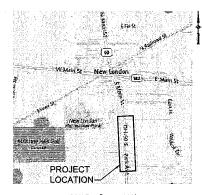


www.grwinc.com



ALEA, MATE, P.S. DATE MARROLD 2000

MARCH 2020



SCALE: 1" = 1,000'

PLAN SET IS FULL SCALE ON 24"X36"
AND HALF SCALE ON 12"X18"

GRW PROJECT NO. 4768-02

GENERAL NOTES

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Hey Chie! Call Before You Dig 1-800-362-2764

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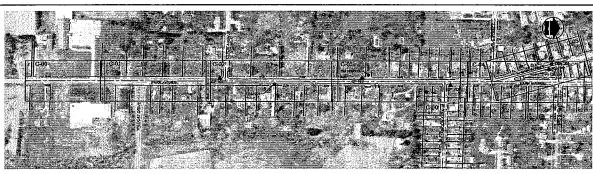
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SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES WATER MAIN REPLACEMENT NEW LONDON, OHIO

RESTRAINED JOINT CALCULATIONS







DRAWING INDEX AND SURVEY CONTROL WATER MAIN REPLACEMENT NEW LONDON, OHIO



G-02

SURVEY CONTROL



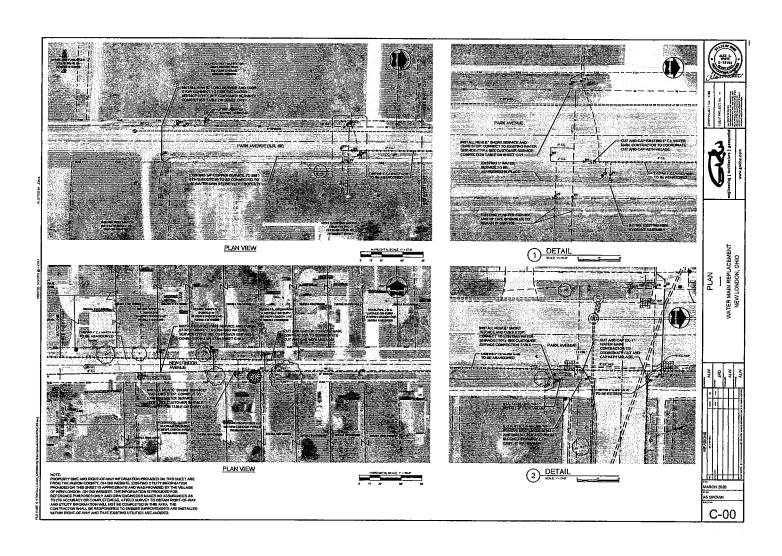


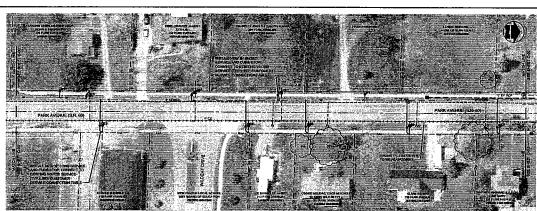




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C-06	STANDARO DETAILS
C-07	STANDARD DETAILS
C-08	EROSION CONTROL DETAILS





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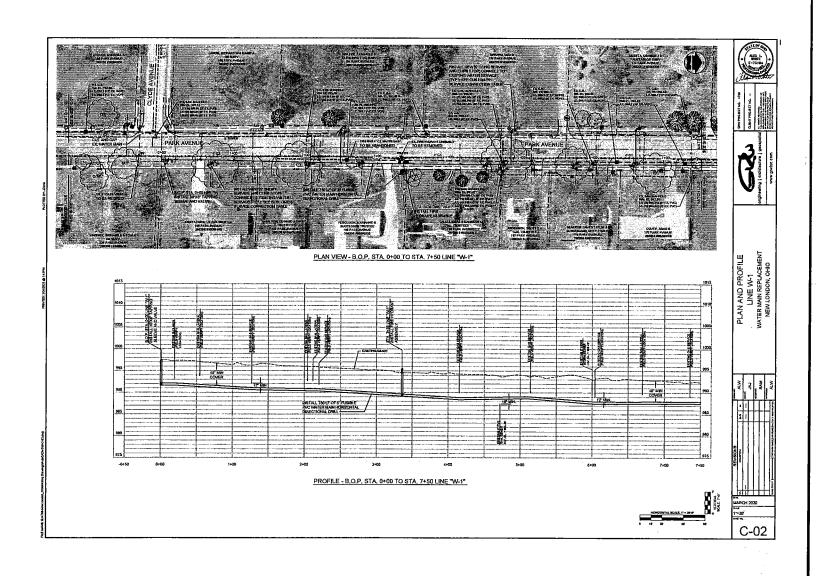
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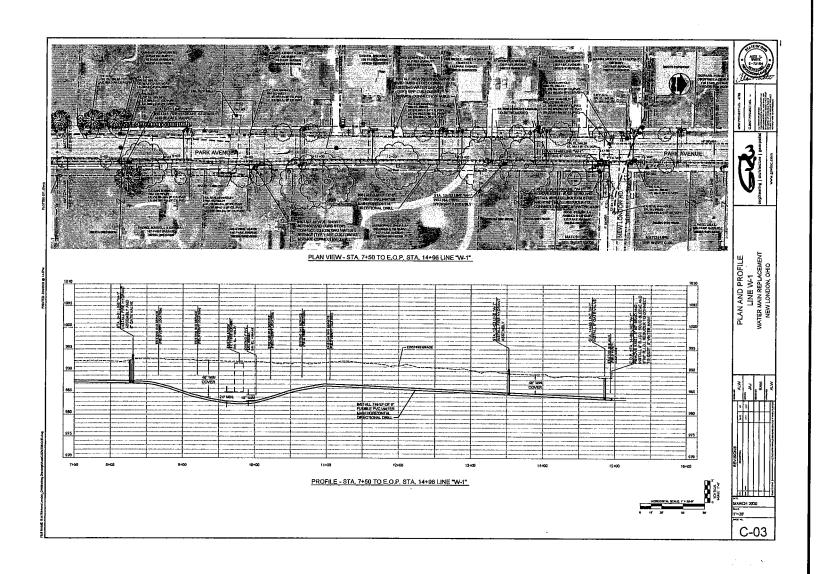


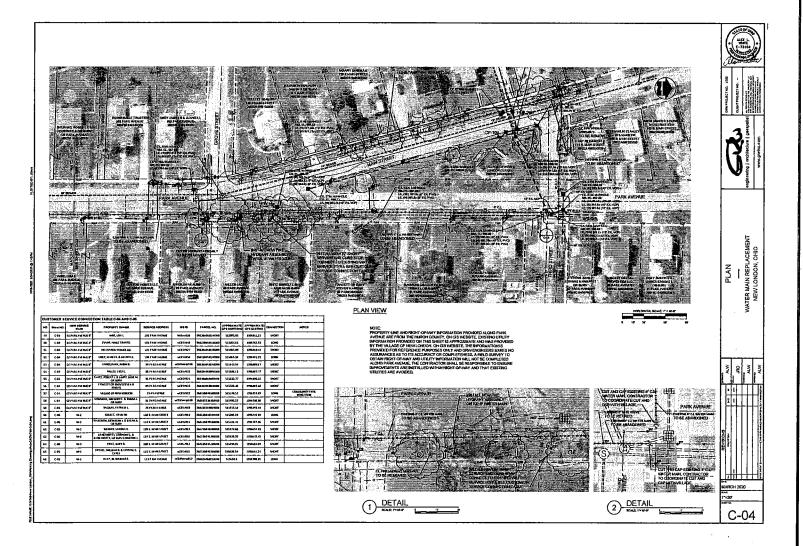


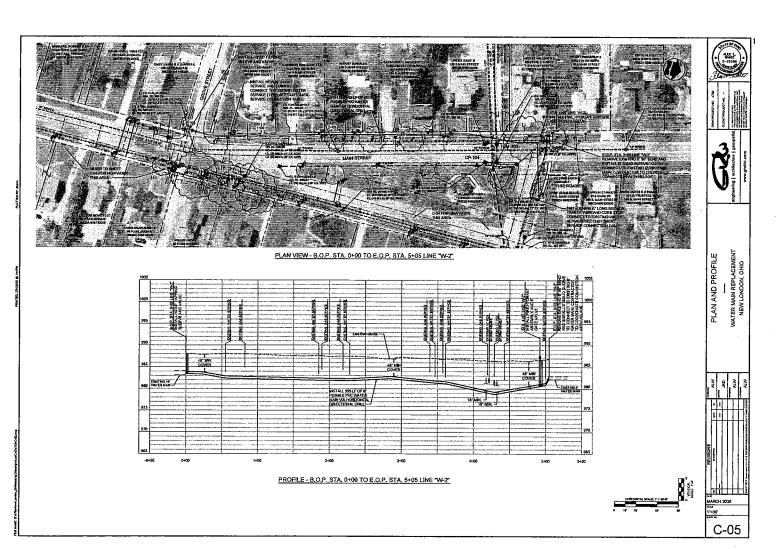
PLAN
WATER SERVICE TRANSFER
WATER MAIN REPLACEMENT
NEW LONDON, OHIO

C-01

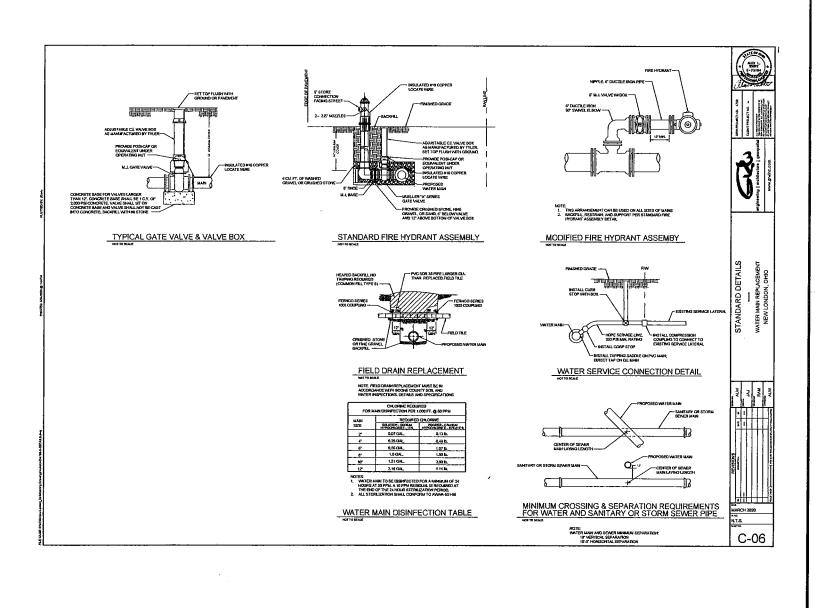


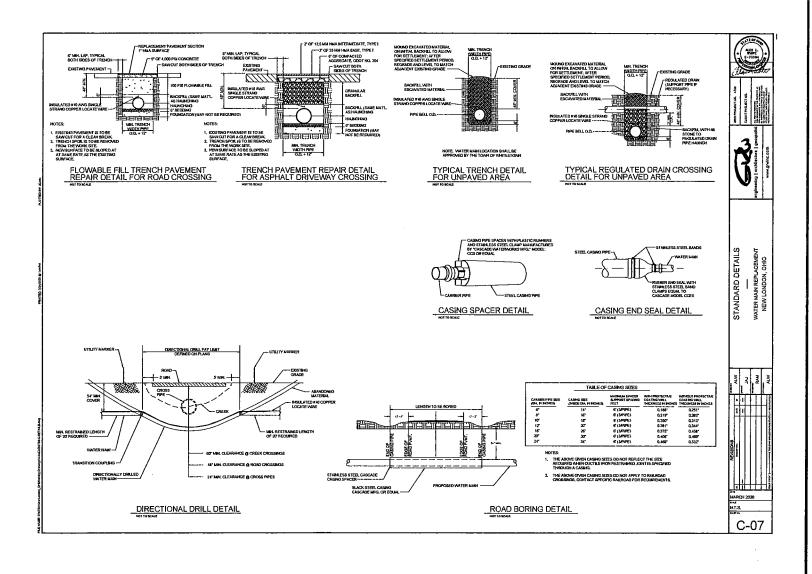






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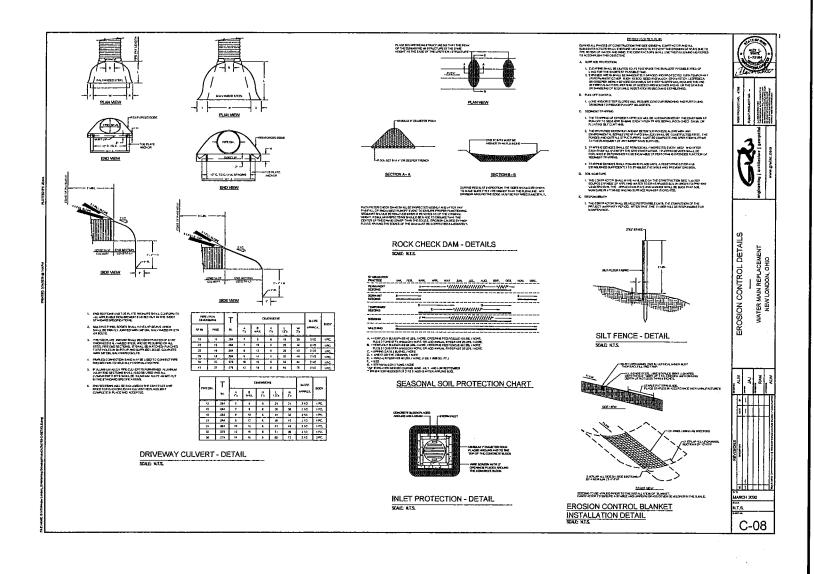


EXHIBIT 2

FLOODPLAIN MANAGEMENT

8-STEP DECISION MAKING PROCESS FOR PROJECTS IN THE FLOODPLAIN Compliance with Executive Order 11988 (Floodplain Management)

VILLAGE OF NEW LONDON WATER MAINS REPLACEMENT PROJECT HURON COUNTY, OHIO

Step 1 - Determination

A small portion of the water main construction zone within the Village of New London is located within a floodplain. The area is within the Federal Emergency Management (FEMA) Flood Insurance Rate Map Panel No. 39077C0360D (eff. 1/19/2011).

Step 2 - Early Public Review

A public notice with a 15-day comment period was published in a local newspaper with general circulation in the project area. A copy of the notice is attached.

Step 3 – Alternatives

The Waterline Project improvements include replacement of approximately 1,500 feet of existing 4" water main with a new 6" water main along SR 60/Park Avenue between Clyde Avenue and New London Avenue and replacement of approximately 500 feet of 2" water main with new 6" water main along South Main Street between Grove Street and 3rd Street. The existing 4 inch waterline was installed in the 1920's, early 1930's. It is one of the first main transmission lines that ties into the rest of the system. The project also replaces an aging 2 inch galvanized water main which removes a possible source of lead within the system and allows for the abandonment of an additional portion of the aging 4 inch main. The water main replacement is adjacent to the water tower and provides service to the remainder of the water system including the downtown area.

To relocate the water line outside of the floodplain would not be feasible due to the length of water line extension around the area that would be required and would result in additional environmental impacts. Reducing the scope of the project to avoid work inside the floodplain would result in the distribution system not meeting all residential areas. In order to provide water to existing customers, the new water main has to occupy the floodplain. Due to the age and undersize of the existing water mains in the project area, rehabilitation (lining) was not considered a feasible option. Due to the age and size of the existing water mains, there was no other feasible alternatives to be considered.

No Action Alternative:

Older waterlines are more prone to breaking and/or leaking. When a break occurs and the waterline depressurizes, it provides an opportunity for contaminates to enter the water system. This will also cause an interruption in service to the customers while the lines are getting repaired. Since the proposed water line replacement area is next to the water tower, line breaks can influence much of the Village. Newer waterlines are made with materials that have greater ductility that are less prone to breaks, and therefore assist in providing high quality water. Absent of this project, there is concern of additional line failures which would jeopardize the distribution system and residents water supply, fire protection and public safety.

Step 4 – Impacts of Proposed Actions

The proposed project will not have long-term negative impacts to the environment and floodplain as the water main will be placed underground. There will be no fill placed in the floodplain as the water main will be placed via Horizontal Direction Drilling. Following installation all impacted areas will be restored back to pre-project or better condition, as required. All impacted areas will be seeded with native, non-invasive species. There will be no floodplain conversion or impact to

8-STEP DECISION MAKING PROCESS FOR PROJECTS IN THE FLOODPLAIN Compliance with Executive Order 11988 (Floodplain Management)

flood flow following completion of the project. Since the water lines will be buried, the project will not lead to any significant increase in impermeable cover ad shall have no negative impacts on the floodplain. The project will benefit the health, safety and welfare of residents of the project area.

Step 5 - Design or Modify the Proposed Action

The proposed project will incur only minimal or no impact on the floodplain area. Prior to work in the floodplain, the local floodplain administrator was contacted regarding the project (see attached email) for any comments or concerns related to the project. In addition, best management practices will be followed to protect natural features that serve to maintain infiltration. The project will not cause any significant increases in impermeable cover, and shall not have negative impacts as the water lines will all be subsurface

The project will consist of Horizontal Directional boring the 6 inch water line under the stream and through the floodplain, resulting in minimal to no impacts to the floodplain area.

Step 6 – Reevaluate the Alternatives

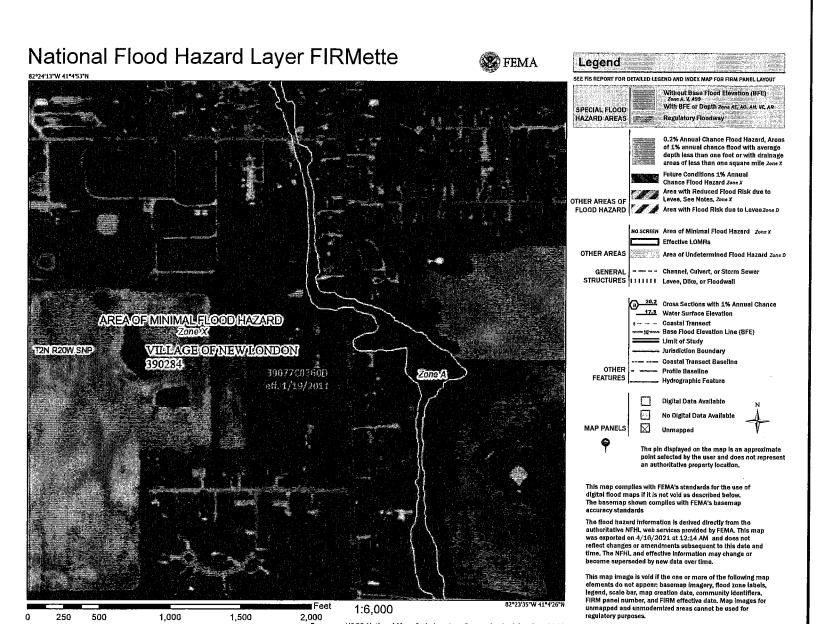
The proposed project alignment was selected in order to continue to make public water and fire protection available to all residents of New London. All project alternatives evaluated would result in similar impact to the floodplain. Revising the alignment to be outside of the floodplain is not feasible, and reducing the scope or taking no action would result in additional line failures which would jeopardize the distribution system and residents water supply, fire protection and public safety

Step 7 – Notice of Proposed Activity in a 100-Year Floodplain

A public notice with a 7-day comment period was placed in a newspaper with general circulation in the project area. A copy of the notice is attached

Step 8 – Implement Action

The action will be implemented when all applicable notices have been published and comments received and responded to as needed. The Engineering contractor and the Village of New London floodplain administrator will take an active role in monitoring the construction process to ensure no unnecessary impacts to floodplains occur.



Feet

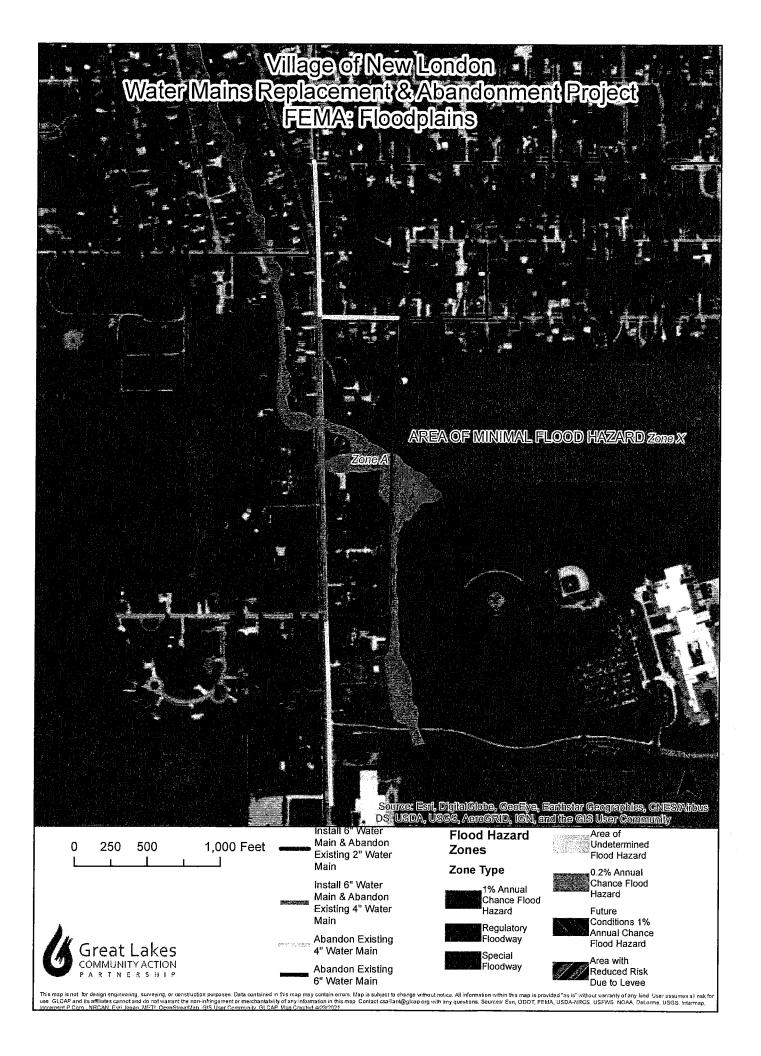
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Basemap: USGS National Map: Ortholmagery: Data refreshed October, 2020



Village of New London Incorporated, 1853

April 23, 2021

Subject: Park Ave. Waterline Replacement Project, Village of New London

To Whom It May Concern;

The above waterline project will have no impact on the 100 year flood plain waterway located within the Village of New London, Huron County, Ohio. The project will consist of Directional Boring a 6" line under the waterway and through the floodplain having no impact on the waterway itself. If you have any questions or concerns, please do not hesitate to contact me.

Thanks,

John R. Clinqui John Chapin

Floodplain Administrator 115 East Main Street

New London, OH 44851

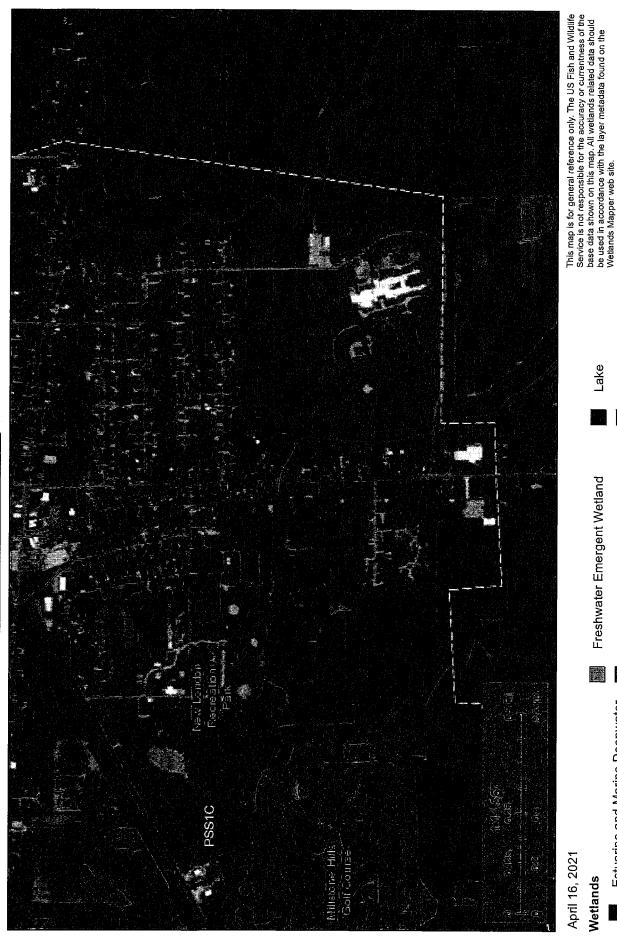
Phone: 419-929-4091

EXHIBIT 3

WETLANDS PROTECTION



National Wetlands Inventory U.S. Fish and Wildlife Service



April 16, 2021

Wetlands

Estuarine and Marine Wetland

Estuarine and Marine Deepwater

Freshwater Pond

Freshwater Emergent Wetland

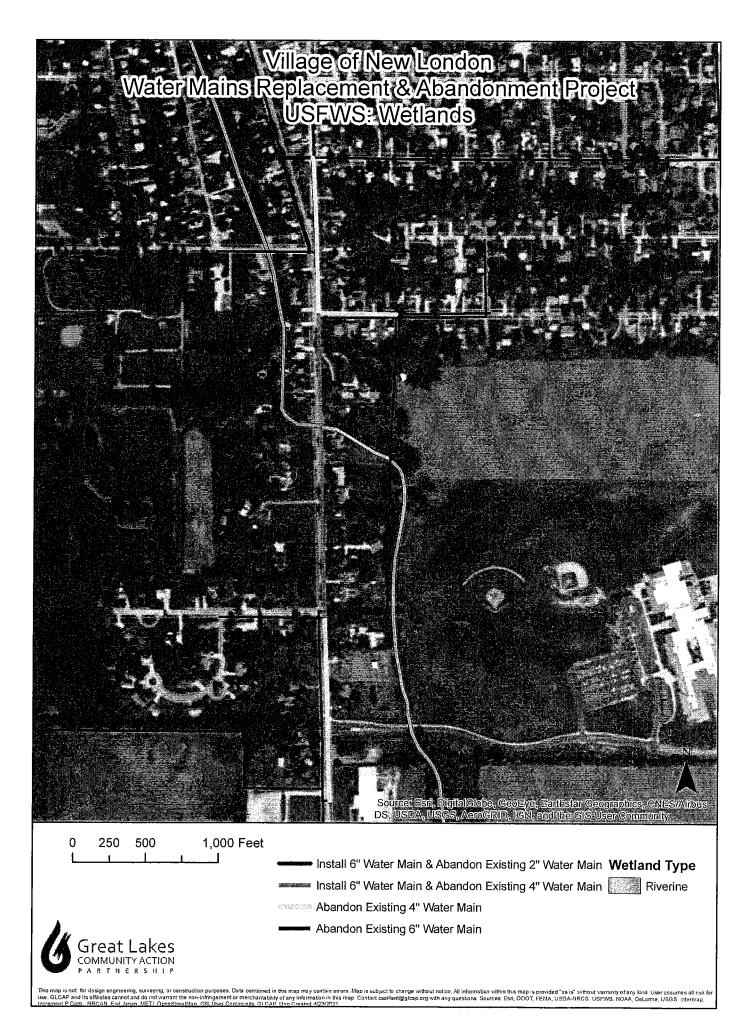
Freshwater Forested/Shrub Wetland

Lake

Other

Riverine

National Wetlands Inventory (NWI) This page was produced by the NWI mapper



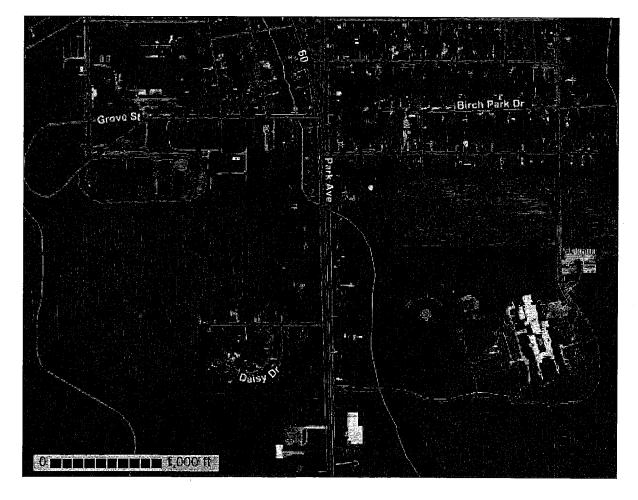


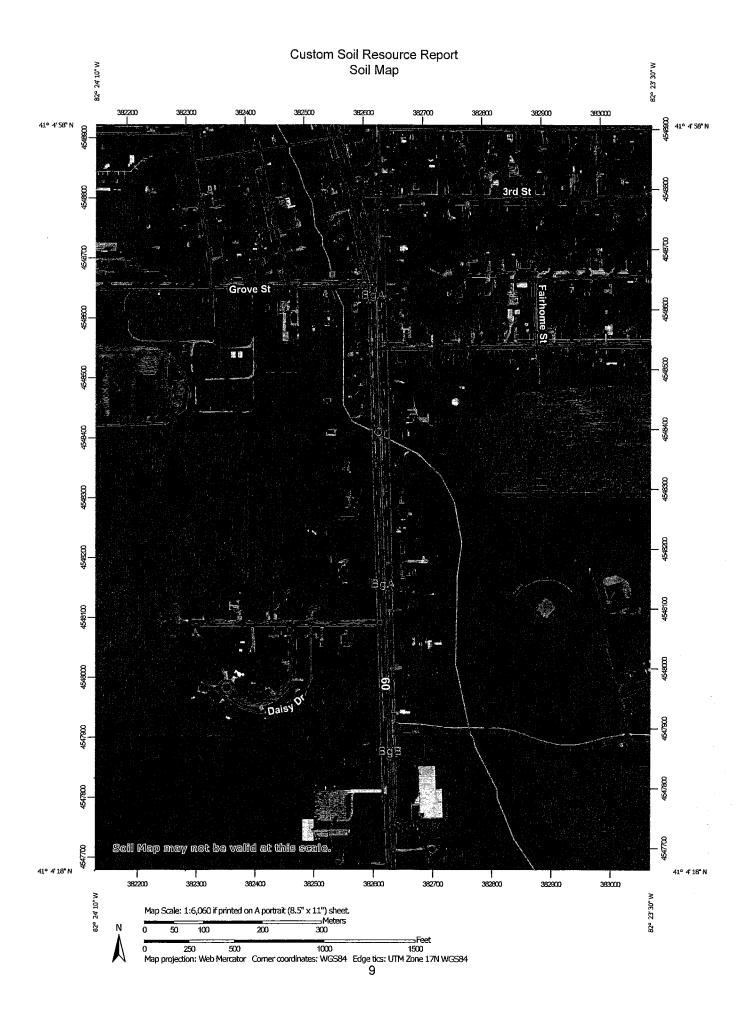
USDA United States Department of Agriculture

Natural Resources Conservation Service

A product of the National Cooperative Soil Survey, a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local participants

Custom Soil Resource Report for **Huron County,** Ohio





Date(s) aerial images were photographed: Aug 11, 2019—Oct 2, This product is generated from the USDA-NRCS certified data as misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed Maps from the Web Soil Survey are based on the Web Mercator distance and area. A projection that preserves area, such as the Enlargement of maps beyond the scale of mapping can cause The orthophoto or other base map on which the soil lines were projection, which preserves direction and shape but distorts Soil map units are labeled (as space allows) for map scales Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required. Source of Map: Natural Resources Conservation Service The soil surveys that comprise your AOI were mapped at Please rely on the bar scale on each map sheet for map Coordinate System: Web Mercator (EPSG:3857) MAP INFORMATION Warning: Soil Map may not be valid at this scale. Soil Survey Area: Huron County, Ohio Survey Area Data: Version 20, Jun 11, 2020 of the version date(s) listed below. Web Soil Survey URL: 1:50,000 or larger. measurements. 1:15,800 Special Line Features Streams and Canals Interstate Highways Aerial Photography Very Stany Spot Major Roads Local Roads Stony Spot US Routes Spoil Area Wet Spot Other Rails Water Features Transportation Background MAP LEGEND W *** Į 977 Soil Map Unit Polygons Severely Eroded Spot Area of Interest (AOI) Miscellaneous Water Soil Map Unit Points Soil Map Unit Lines Closed Depression Marsh or swamp Perennial Water Mine or Quarry Special Point Features Gravelly Spot Rock Outcrop Slide or Slip Saline Spot Sandy Spot Sodic Spot Borrow Pit Lava Flow Gravel Pit Clay Spot Area of Interest (AOI) Sinkhole Blowout Landfill Э X \Diamond Soils

compiled and digitized probably differs from the background

imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
BgA	Bennington silt loam, 0 to 2 percent slopes	5.9	75.1%
BgB	Bennington silt loam, 2 to 6 percent slopes	1.1	14.0%
Or	Orrville silt loam, frequently flooded	0.9	10.9%
Totals for Area of Interest	,	7.9	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or

landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An association is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Huron County, Ohio

BgA—Bennington silt loam, 0 to 2 percent slopes

Map Unit Setting

National map unit symbol: 2t6m9 Elevation: 800 to 1,000 feet

Mean annual precipitation: 34 to 42 inches Mean annual air temperature: 48 to 54 degrees F

Frost-free period: 145 to 180 days

Farmland classification: Prime farmland if drained

Map Unit Composition

Bennington and similar soils: 85 percent

Minor components: 15 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Bennington

Setting

Landform: End moraines, ground moraines

Landform position (two-dimensional): Footslope, backslope, summit

Landform position (three-dimensional): Interfluve

Down-slope shape: Concave, linear

Across-slope shape: Linear

Parent material: Wisconsin loamy till derived from sandstone and shale

Typical profile

Ap - 0 to 10 inches: silt loam

Bt - 10 to 29 inches: silty clay loam

BCt - 29 to 42 inches: silty clay loam

C - 42 to 79 inches: clay loam

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches Drainage class: Somewhat poorly drained

Runoff class: High

Capacity of the most limiting layer to transmit water (Ksat): Moderately low to

moderately high (0.06 to 0.20 in/hr)

Depth to water table: About 6 to 12 inches

Frequency of flooding: None Frequency of ponding: None

Calcium carbonate, maximum content: 22 percent

Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)

Available water capacity: Moderate (about 8.1 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2w

Hydrologic Soil Group: C/D

Ecological site: F111EY502OH - Wet Till Ridge

Hydric soil rating: No

Minor Components

Cardington

Percent of map unit: 7 percent

Landform: Ground moraines, end moraines

Landform position (two-dimensional): Summit, backslope, shoulder

Landform position (three-dimensional): Side slope, crest

Down-slope shape: Linear, convex

Across-slope shape: Convex

Ecological site: F111EY503OH - Till Ridge

Hydric soil rating: No

Condit

Percent of map unit: 5 percent

Landform: Drainageways, depressions

Landform position (two-dimensional): Toeslope Landform position (three-dimensional): Base slope

Down-slope shape: Linear, concave

Across-slope shape: Concave

Ecological site: F111EY501OH - Till Depression

Hydric soil rating: Yes

Pewamo, low carbonate till

Percent of map unit: 3 percent

Landform: Depressions, drainageways

Landform position (two-dimensional): Toeslope Landform position (three-dimensional): Base slope

Down-slope shape: Concave, linear Across-slope shape: Concave

Hydric soil rating: Yes

BgB—Bennington silt loam, 2 to 6 percent slopes

Map Unit Setting

National map unit symbol: 2t6mb Elevation: 800 to 1,120 feet

Mean annual precipitation: 34 to 42 inches Mean annual air temperature: 48 to 54 degrees F

Frost-free period: 145 to 175 days

Farmland classification: Prime farmland if drained

Map Unit Composition

Bennington and similar soils: 85 percent

Minor components: 15 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Bennington

Setting

Landform: End moraines, ground moraines

Landform position (two-dimensional): Footslope, backslope, summit

Landform position (three-dimensional): Interfluve

Down-slope shape: Concave, linear

Across-slope shape: Linear

Parent material: Wisconsin loamy till derived from sandstone and shale

Typical profile

Ap - 0 to 9 inches: silt loam
Bt - 9 to 29 inches: silty clay loam
BCt - 29 to 40 inches: silty clay loam
C - 40 to 79 inches: clay loam

Properties and qualities

Slope: 2 to 6 percent

Depth to restrictive feature: More than 80 inches Drainage class: Somewhat poorly drained

Runoff class: High

Capacity of the most limiting layer to transmit water (Ksat): Moderately low to

moderately high (0.06 to 0.20 in/hr)

Depth to water table: About 6 to 12 inches

Frequency of flooding: None Frequency of ponding: None

Calcium carbonate, maximum content: 22 percent

Maximum salinity: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)

Available water capacity: Moderate (about 8.0 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2e

Hydrologic Soil Group: C/D

Ecological site: F111EY502OH - Wet Till Ridge

Hydric soil rating: No

Minor Components

Cardington

Percent of map unit: 9 percent

Landform: Ground moraines, end moraines

Landform position (two-dimensional): Summit, shoulder, backslope

Landform position (three-dimensional): Side slope, crest

Down-slope shape: Linear, convex Across-slope shape: Convex

Ecological site: F111EY503OH - Till Ridge

Hydric soil rating: No

Pewamo, low carbonate till

Percent of map unit: 3 percent

Landform: Depressions, drainageways

Landform position (two-dimensional): Toeslope Landform position (three-dimensional): Base slope

Down-slope shape: Concave, linear Across-slope shape: Concave

Hydric soil rating: Yes

Condit

Percent of map unit: 3 percent

Landform: Drainageways, depressions

Landform position (two-dimensional): Toeslope Landform position (three-dimensional): Base slope

Down-slope shape: Linear, concave Across-slope shape: Concave

Ecological site: F111EY501OH - Till Depression

Hydric soil rating: Yes

Or-Orrville silt loam, frequently flooded

Map Unit Setting

National map unit symbol: 5mt0 Elevation: 900 to 1,060 feet

Mean annual precipitation: 30 to 42 inches Mean annual air temperature: 48 to 55 degrees F

Frost-free period: 133 to 182 days

Farmland classification: Prime farmland if drained and either protected from flooding

or not frequently flooded during the growing season

Map Unit Composition

Orrville and similar soils: 90 percent Minor components: 10 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Orrville

Setting

Landform: Flood plains
Down-slope shape: Concave
Across-slope shape: Linear
Parent material: Alluvium

Typical profile

H1 - 0 to 9 inches: silt loam H2 - 9 to 34 inches: silt loam

H3 - 34 to 60 inches: stratified gravelly loamy sand to silt loam

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: More than 80 inches Drainage class: Somewhat poorly drained

Runoff class: Low

Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high

(0.60 to 2.00 in/hr)

Depth to water table: About 12 to 30 inches Frequency of flooding: FrequentNone

Frequency of ponding: None

Available water capacity: High (about 9.1 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2w

Hydrologic Soil Group: B/D Hydric soil rating: No

Minor Components

Bennington

Percent of map unit: 4 percent

Landform: Rises on ground moraines, rises on end moraines, flats on ground

moraines, flats on end moraines

Landform position (two-dimensional): Summit, shoulder

Down-slope shape: Linear Across-slope shape: Linear Hydric soil rating: No

Holly

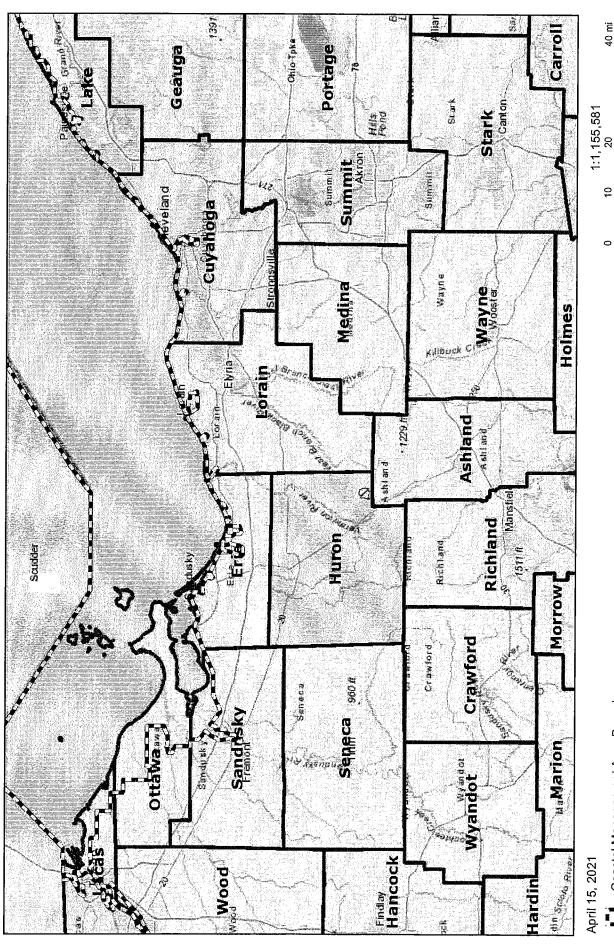
Percent of map unit: 3 percent Landform: Depressions Hydric soil rating: Yes

Lobdell

Percent of map unit: 3 percent Landform: Flood plains Hydric soil rating: No

EXHIBIT 4

COASTAL AREAS PROTECTION & MANAGEMENT



April 15, 2021

Coastal Management Area Boundary

ODNR - Office of Coastal MGMT

Sources: Esri, HERE, Garmin, Intermap, Increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri

40 mi

9

60 km

EXHIBIT 5

SOLE SOURCE AQUIFER

Sole Source Aquifers in Ohio

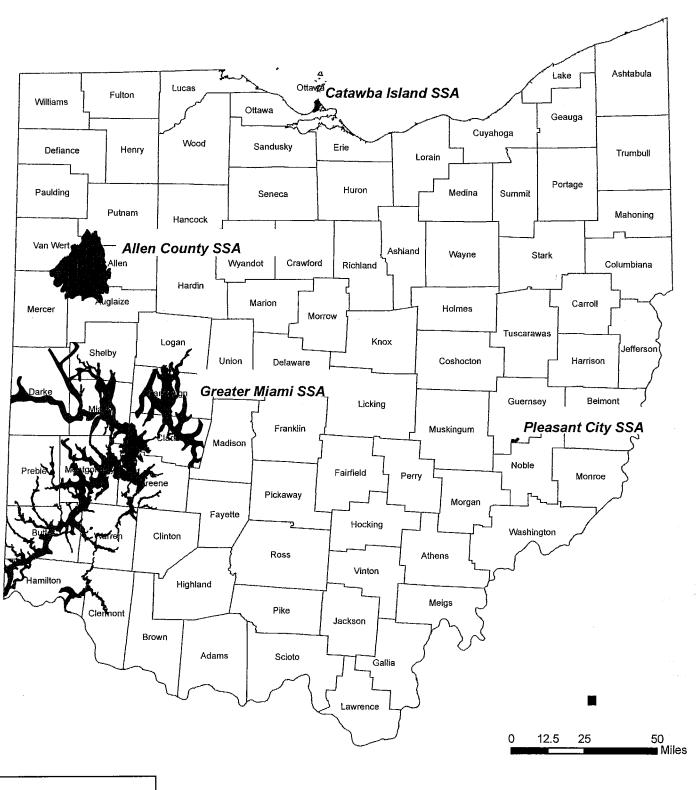






EXHIBIT 6

ENDANGERED SPECIES

U.S. Fish & Wildlife
Ohio Department of Natural Resources



United States Department of the Interior

WHAT A WILLIAMS

April 15, 2021

FISH AND WILDLIFE SERVICE

Ohio Ecological Services Field Office 4625 Morse Road, Suite 104 Columbus, OH 43230-8355 Phone: (614) 416-8993 Fax: (614) 416-8994

In Reply Refer To:

Consultation Code: 03E15000-2021-SLI-1190

Event Code: 03E15000-2021-E-01683

Project Name: Village of New London Water Mains Replacement Project

Subject: List of threatened and endangered species that may occur in your proposed project

location or may be affected by your proposed project

To Whom It May Concern:

The enclosed species list identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 *et seq.*).

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

The purpose of the Act is to provide a means whereby threatened and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 *et seq.*), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect threatened and endangered species and/or designated critical habitat.

A Biological Assessment is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2))

(c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a Biological Assessment be prepared to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a Biological Assessment are described at 50 CFR 402.12.

If a Federal agency determines, based on the Biological Assessment or biological evaluation, that listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species and proposed critical habitat be addressed within the consultation. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at:

http://www.fws.gov/endangered/esa-library/pdf/TOC-GLOS.PDF

Migratory Birds: In addition to responsibilities to protect threatened and endangered species under the Endangered Species Act (ESA), there are additional responsibilities under the Migratory Bird Treaty Act (MBTA) and the Bald and Golden Eagle Protection Act (BGEPA) to protect native birds from project-related impacts. Any activity, intentional or unintentional, resulting in take of migratory birds, including eagles, is prohibited unless otherwise permitted by the U.S. Fish and Wildlife Service (50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)). For more information regarding these Acts see http://www.fws.gov/migratorybirds/RegulationsandPolicies.html.

The MBTA has no provision for allowing take of migratory birds that may be unintentionally killed or injured by otherwise lawful activities. It is the responsibility of the project proponent to comply with these Acts by identifying potential impacts to migratory birds and eagles within applicable NEPA documents (when there is a federal nexus) or a Bird/Eagle Conservation Plan (when there is no federal nexus). Proponents should implement conservation measures to avoid or minimize the production of project-related stressors or minimize the exposure of birds and their resources to the project-related stressors. For more information on avian stressors and recommended conservation measures see http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/BirdHazards.html.

In addition to MBTA and BGEPA, Executive Order 13186: *Responsibilities of Federal Agencies to Protect Migratory Birds*, obligates all Federal agencies that engage in or authorize activities that might affect migratory birds, to minimize those effects and encourage conservation measures that will improve bird populations. Executive Order 13186 provides for the protection of both migratory birds and migratory bird habitat. For information regarding the implementation of Executive Order 13186, please visit http://www.fws.gov/migratorybirds/AboutUS.html.

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Code in the header of this letter with any request for consultation or correspondence about your project that you submit to our office.

Attachment(s):

• Official Species List

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Ohio Ecological Services Field Office 4625 Morse Road, Suite 104 Columbus, OH 43230-8355 (614) 416-8993

Project Summary

Consultation Code: 03E15000-2021-SLI-1190 **Event Code:** 03E15000-2021-E-01683

Project Name: Village of New London Water Mains Replacement Project

Project Type: WATER SUPPLY / DELIVERY

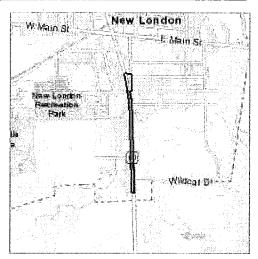
Project Description: The Waterline Project improvements include replacement of

approximately 1,500 feet of existing 4" water main with a new 6" water main along SR 60/Park Avenue between Clyde Avenue and New London Avenue and replacement of approximately 500 feet of 2" water main with new 6" water main along South Main Street between Grove Street and 3rd Street. The project includes transferring services to the new water main and abandoning the existing 2" and 4" water main within these areas. In addition, the project includes transfer of services to newer mains and abandoning the 4" water main along Park Avenue from 400' south of Wildcat Drive to Clyde Avenue and from New London Avenue to 3rd Street, the 6" main on 3rd Street between South Main Street and Park Avenue, and along New London Avenue between Park Ave and the water

tower.

Project Location:

Approximate location of the project can be viewed in Google Maps: https:// www.google.com/maps/@41.07746445,-82.39735062081199,14z



Counties: Huron County, Ohio

Endangered Species Act Species

There is a total of 2 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species. Note that 1 of these species should be considered only under certain conditions.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

<u>NOAA Fisheries</u>, also known as the National Marine Fisheries Service (NMFS), is an
office of the National Oceanic and Atmospheric Administration within the Department of
Commerce.

Mammals

NAME

STATUS

Indiana Bat Myotis sodalis

Endangered

There is **final** critical habitat for this species. The location of the critical habitat is not available. Species profile: https://ecos.fws.gov/ecp/species/5949

Northern Long-eared Bat Myotis septentrionalis

Threatened

No critical habitat has been designated for this species.

This species only needs to be considered under the following conditions:

Incidental take of the northern long-eared bat is not prohibited at this location. Federal
action agencies may conclude consultation using the streamlined process described at
https://www.fws.gov/midwest/endangered/mammals/nleb/s7.html

Species profile: https://ecos.fws.gov/ecp/species/9045

Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.





April 21, 2021

Ms. Sarah Tebbe Ohio Department of Natural Resources Division of Wildlife 2045 Morse Road, Bldg. G-3 Columbus, OH 43229

RE: Village of New London Water Mains Replacement Project (Park Avenue & S Main Street)
Environmental Assessment – CDGB Critical Infrastructure Grant
Huron County, OH

Dear Ms. Tebbe:

The Village of New London is in the process of performing an environmental review pursuant to the National Environmental Policy Act for the Ohio Development Services Agency (ODSA) in order that it may assess the environmental impacts of the proposed New London Water Mains Replacement Project. The project will be funded in part through a Community Development Block Grant Critical Public Infrastructure Grant. The Great Lakes Community Action Partnership/Ohio Rural Community Assistance Program is assisting the Village with preparation of an Environmental Review Record.

Enclosed is a completed Data Request Form with attached mapping that depicts the proposed project areas, and a description of the work involved. We request that your office review the proposal for any State and Federally-listed threatened and endangered species, including Migratory Bird, and any other important State natural resources that may occur in the project area. Please provide any recommendations you may have to mitigate or avoid these impacts. If possible, we would appreciate a response within 30 days. If you need any further information or wish to discuss our project, please contact me at 740-891-3364 or riwinland@glcap.org.

Sincerely,

Ron Winland

Ron Winland

Sr. Rural Development Specialist

Rural Community Assistance Program (RCAP)

Enclosures



DATA REQUEST FORM

OHIO DEPARTMENT OF NATURAL RESOURCES DIVISION OF NATURAL AREAS AND PRESERVES OHIO NATURAL HERITAGE PROGRAM 2045 MORSE RD., BLDG. F-1 COLUMBUS, OHIO 43229-6693 PHONE: 614-265-6453; FAX: 614-267-3096

INSTRUCTIONS:

Please complete both sides of this form, sign and return it to the address or fax number given above along with: (1) a brief letter describing your project, and (2) a map detailing the boundaries of your project site. A copy of the pertinent portion of a USGS 7.5 minute topographic map is preferred but other maps are acceptable. Our turnaround time is two weeks, although we can often respond more quickly. If you fax in your request you do not need to mail the original unless otherwise requested.

FEES:

Fees are determined by the amount of time it takes to complete your project. The charge is \$50.00 per half hour with a one hour minimum. A cost estimate can be provided upon request. An invoice will be included with our response.

WHAT WE PROVIDE: The Natural Heritage Database is the most comprehensive source of information on the location of Ohio's rare species and significant natural features. Our inventory program has not completely surveyed Ohio and relies on information supplied by many individuals and organizations. Therefore, a lack of records for any particular area is not a statement that rare species or unique features are absent from that area. Records for the following will be provided from the Natural Heritage Database: plants and animals (state and federal listed species), high quality examples of natural plant communities, geologic features, breeding animal concentrations, and unprotected natural areas. In addition, we report locations for managed areas including federal, state, county, local and non-profit areas, as well as state and national scenic rivers. Natural Heritage Data can be provided in many formats, including GIS shapefiles, spreadsheets, printed reports or maps. A minimum one mile radius around the project site will automatically be searched. Because Natural Heritage data is sensitive information, it is our policy to provide only the data needed to complete your project.

Date: April 21, 2021

Company name: Ohio Rural Community Assistance Program

Your name: Ron Winland

Address: 340 Walker Drive

City/State/Zip: Zanesville, OH 43701

Phone: **740-891-3364** Fax: **NA**

E-mail address: rlwinland@glcap.org

Project Name. Village of New London Water Mains Replacement Project
Project Number: NA
Project Site Address: Village of New London, Park Avenue and S Main Street
Project County: Huron County
Project Township:
Project site is located on the following USGS 7.5 minute topographic quad(s):
New London, OH
Description of project: See attached Project Description and Mapping
How do you want your data reported? Printed list and mapXX GIS shapefile
Other format (please specify):
Additional information required:
How will the information be used?
Environmental Assessment Report for Ohio Development Service Agency CDBG Critical Infrastructure Grant Program.
I certify that data supplied by the Ohio Natural Heritage Program will not be published without crediting the ODNR Division of Natural Areas and Preserves as the source of the material. In addition, I certify that electronic datasets will not be distributed to others without the consent of the Division of Natural Areas and Preserves, Ohio Natural Heritage Program.
Signature <u>Ron Winland</u>
Date: April 21, 2021

DNR 5203 REV 2/2008

PROJECT DESCRIPTION AND NARRATIVE VILLAGE OF NEW LONDON WATER MAINS REPLACEMENT PROJECT HURON COUNTY, OHIO

Huron County is requesting \$480,300 from the CDBG Critical Infrastructure Grant program for a waterline project in the Village of New London.

The Waterline Project improvements include replacement of approximately 1,500 feet of existing 4" water main with a new 6" water main along SR 60/Park Avenue between Clyde Avenue and New London Avenue and replacement of approximately 500 feet of 2" water main with new 6" water main along South Main Street between Grove Street and 3rd Street. The project includes transferring services to the new water main and abandoning the existing 2" and 4" water main within these areas. In addition, the project includes transfer of services to newer mains and abandoning the 4" water main along Park Avenue from 400' south of Wildcat Drive to Clyde Avenue and from New London Avenue to 3rd Street, the 6" main on 3rd Street between South Main Street and Park Avenue, and along New London Avenue between Park Ave and the water tower.

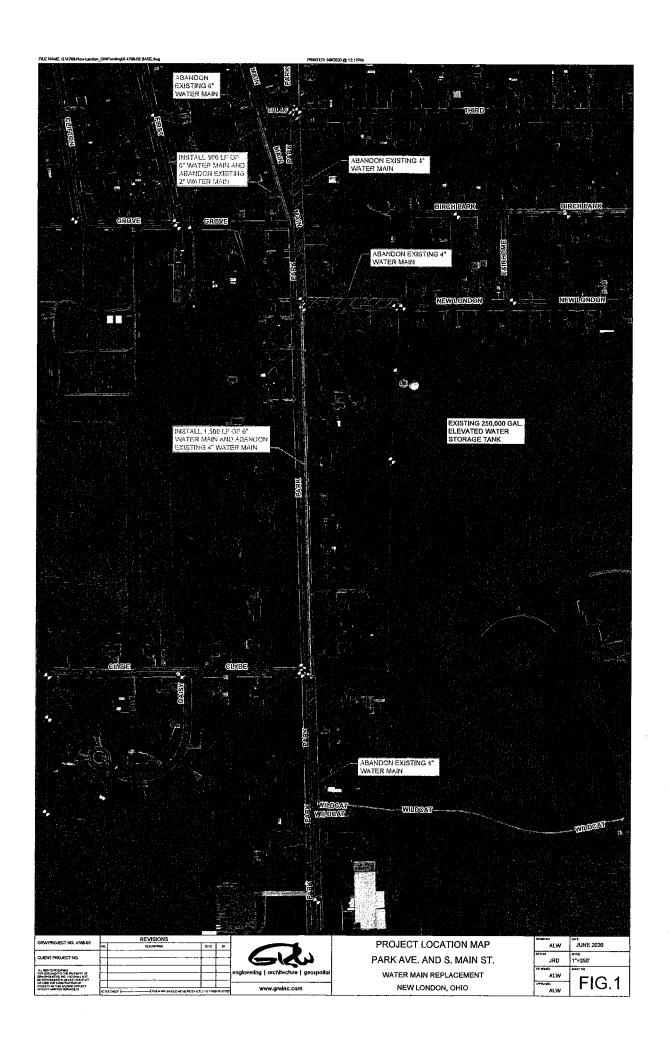
The existing 4 inch waterline was installed in the 1920's, early 1930's. It is one of the first main transmission lines that ties into the rest of the system. The main along Park Avenue still acts as a secondary transmission main between the water treatment plant and water tower. Over the years, the Village has had many line breaks throughout this entire area causing the Village to shutdown lines and reroute water through secondary lines. When this happens, it can and has caused issues with pressure in the lines, which has caused other lines to fail. Last year they had three breaks within one week in this area on the coldest days of the year and other breaks throughout the year. In addition, the old line no longer carries the capacity to flow enough water for adequate fire protection.

The project also replaces an aging 2 inch galvanized water main which removes a possible source of lead within the system and allows for the abandonment of an additional portion of the aging 4 inch main. The water main replacement is adjacent to the water tower and provides service to the remainder of the water system including the downtown area.

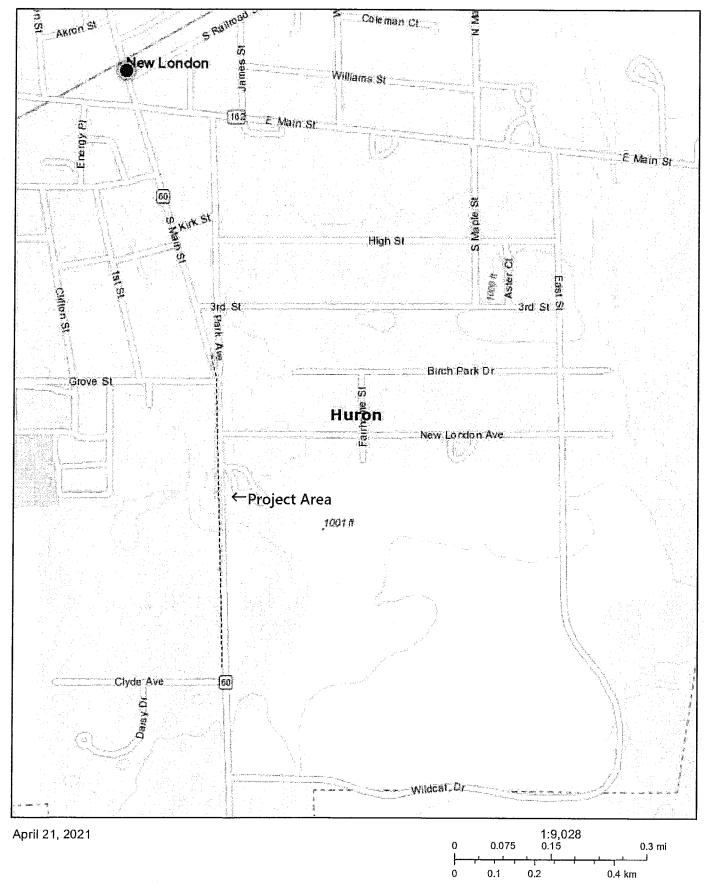
Construction work will occur within existing Village road right of way. Installation of water mains will be completed via Horizontal Directional Drilling which will minimize subsurface impacts. Existing water mains that will no longer be utilized will be abandoned in place. Some backhoe work will be required in order to connect the new water mains to existing customer service lines. There is no tree removal planned as part of the project and no wetlands will be impacted. There is one stream channel located within the project alignment; and the water main will be installed by boring beneath the stream to avoid impacts.

Huron County will use Critical Infrastructure funds, along with leveraging from the Village of New London's RLF and Water Fund for engineering services, general administration, environmental review, contract management, and audit and close-out.

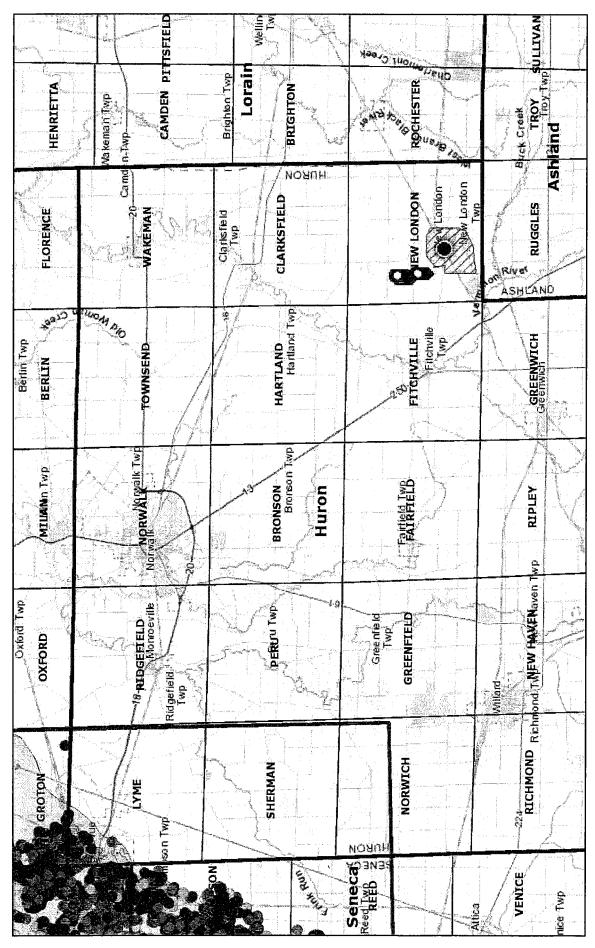




Location Map - New London Water Mains Replacement



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



May 25, 2021

Karst Points

- Karst Field Verified
- Karst Suspect Field Visited
- Karst Suspect Not Visited

16 km

1:288,895 5

Sources: Esri, HERE, Garmin, Intermap, Increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri

Ohio Dept. of Natural Resources

WILD AND SCENIC RIVER MAP



I am starting to work on a CDBG Environmental Review for your Water Mains Replacement project and had a couple of questions.

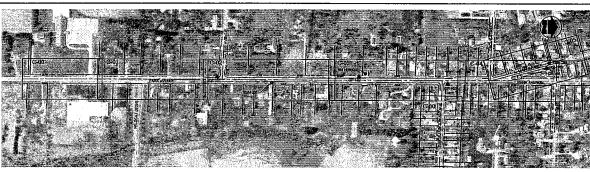
- 1) Installation of water mains: Will this be open-cut, horizontal directional drilling, a combination of both? I assume lines will be placed with a minimum of 4 feet of cover.
- 2) Any tree clearing required.
- 3) Stream Crossing and Floodplain: It appear the project does have one stream crossing. Will the line be directionally bored beneath the stream at this location.
- 4) Are there wastewater collection lines in the project area?
- 5) For the existing water lines that are going to be abandoned will these just be abandoned in place?
- 6) For the attached photos could you label the locations for each?
- 7) Looking at the map and pictures it appears all construction will be within the road or road right of way, correct?
- 8) Finally, does the attached map still accurately depict the project area?

Thanks and have a great weekend.

Ron Winland
Sr. Rural Development Specialist
Ohio Rural Community Assistance Partnership
340 Walker Drive
Zanesville, OH 43701
PH: 740-891-3364
rlwinland@glcap.org

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VERTICAL DATUM = NADIS CIHO STATE PLANES, NORTH ZONE, US FOOT, HORIZONTAL DATUM = NAD 1988 CIHO STATE PLANE, NORTH ZONE, US FOOT.

NO.	DESCRIPTION
15,927	Freezis Carra
-	COVER SHEET
G-01	SYMBOLS, ABBREVIATIONS, AND GENERAL HOTES
G-02	SURVEY CONTROL AND INDEX OF DRAWINGS
15252	Providental Company of the Company o
C-00	P.W
Cet	PLAN
C-02	PLAN AND PROFILE - B.O.P. STA. 0400 TO STA. 7400 LINE "W-1"
C-03	PLAN AND PROFILE - STA. 7+50 TO E.O.P. STA. 14+96 LINE "W-1"
C04	n.w
cos	PLAN AND PROFILE - B.Q.P., STA, 0400 TO E.Q.P., STA, SHOULING WAZ
Cos	STANDARD DETAILS

EROSION CONTROL DETAILS

INDEX OF DRAWINGS







DRAWING INDEX AND SURVEY CONTROL WATER MAIN REPLACEMENT NEW LONDON, OHO



G-02

AIRPORT MAP

RE: CDBG Environmental Assessment - Water Main Replacements

Shawn Pickworth <nladmin@newlondonohio.com>

Fri 4/16/2021 12:56 PM

To: Ronald Winland <rlwinland@glcap.org>

Cc: White, Alex <awhite@grwinc.com>; Angela McConnell <ammcconnell@glcap.org>

Ron,

Good afternoon...

- 1. Most of the work is directional boring. We will have to open up spots to tap the new line for each customer. All lines will have at least 4' of cover.
- 2. There will be no trees removed for this project.
- 3. Waterline will be directional bored under the water way.
- 4. Wastewater is on the other side of the road of the project.
- 5. Old waterline will be abandoned in place.
- 6. I will have the Engineer send a copy of prints. Not sure what you are wanting marked up?
 77. All work will be done within the Village right of way:
- 8. Attached map does accurately show the project area.

Please let me know if you have any other questions or concerns.

Thanks,

Shawn Pickworth
Village of New London
Administrator
115 East Main Street
New London, Ohio 44851
Office: 419-929-4091

Fax: 419-929-0738

Email: nladmin@newlondonohio.com

***This message may contain contidential information and is intended for the person/entity to whom it was originally addressed. Any use by others is strictly prohibited. ***

From: Ronald Winland <rlwinland@glcap.org>

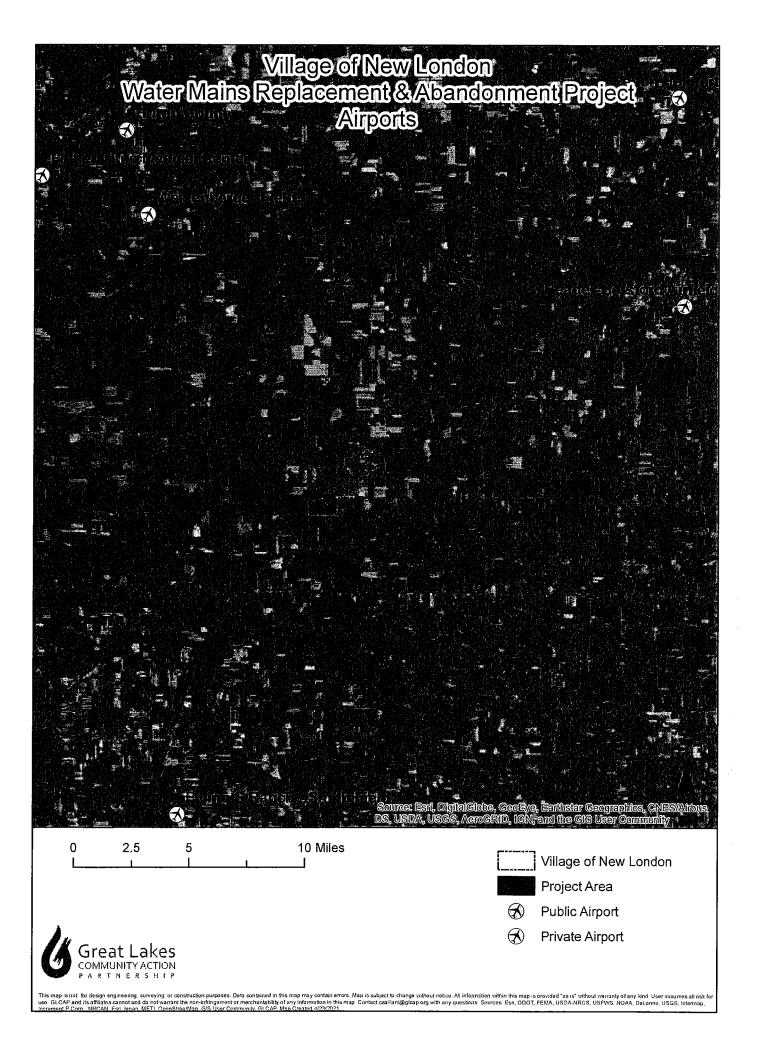
Sent: Friday, April 16, 2021 12:12 PM

To: Shawn Pickworth <nladmin@newlondonohio.com>

Subject: CDBG Environmental Assessment - Water Main Replacements

Hello Shawn:

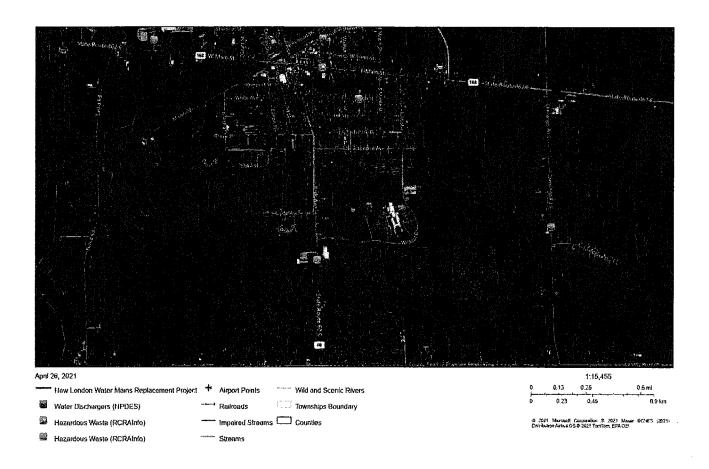
Angie McConnell from GLCAP gave me your contact information.



SITE CONTAMINATION

NEPAssist Report

New London Water Mains Replacement Project



ngth of digitized line	0.45 mi
Within 0.5 miles of an Ozone 8-hr (1997 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of an Ozone 8-hr (2008 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a Lead (2008 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a SO2 1-hr (2010 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a PM2.5 24hr (2006 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a PM2.5 Annual (1997 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a PM2.5 Annual (2012 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a PM10 (1987 standard) Non-Attainment/Maintenance Area?	no
Within 0.5 miles of a Federal Land?	no
Within 0.5 miles of an impaired stream?	no
Within 0.5 miles of an impaired waterbody?	yes
Within 0.5 miles of a waterbody?	yes
Within 0.5 miles of a stream?	yes
Within 0.5 miles of an NWI wetland?	Available Online
Within 0.5 miles of a Brownfields site?	no
Within 0.5 miles of a Superfund site?	no
Within 0.5 miles of a Toxic Release Inventory (TRI) site?	no
Within 0.5 miles of a water discharger (NPDES)?	yes
Within 0.5 miles of a hazardous waste (RCRA) facility?	yes

Showing 1 to 10 of First Previous []															
FACILITY NFORMATION	AFS O	ACRESO	BR O	SEMSO	GHG ©	PCS/ICIS ®	RADInfo@	RCRAInfo®	TRI O	TSCA					
BIGELOW DRAIN TILE CO FIR STREET NEW LONDON, OH 44851 Latitude: 41.09137 Longitude: -82.39583								<u>View</u> <u>Report</u>	THE RESERVE OF THE PROPERTY OF	ooo ee					
BP OIL SITE 05324 20 S MAIN ST NEW LONDON, OH 44851 Latitude: 41.08472 Longitude: -82.39909								<u>View</u> <u>Report</u>							
DOLLAR GENERAL STORE #10895 100 E MAIN ST NEW LONDON, OH 44851 Latitude: 41.08504 Longitude: -82.39668								<u>View</u> Report							
FIRELANDS FABRICATION 201 N. MAIN ST. NEW LONDON, OH 44851 Latitude: 41.09263 Longitude: -82.40126			View Report					<u>View</u> Report							
FRATERNAL SUPPLIES INC 80 S RAILROAD ST NEW LONDON, OH 44851 Latitude: 41.08692 Longitude: -82.39659						<u>View</u> <u>Report</u>		<u>View</u> <u>Report</u>							

Within 0.5 miles of an air emission facility?	no
Within 0.5 miles of a school?	yes 🐉
Within 0.5 miles of an airport?	no
Within 0.5 miles of a hospital?	yes 🗐
Within 0.5 miles of a designated sole source aquifer?	no
Within 0.5 miles of a historic property on the National Register of Historic Places?	yes
Within 0.5 miles of a Toxic Substances Control Act (TSCA) site?	no
Within 0.5 miles of a Land Cession Boundary?	yes y
Within 0.5 miles of a tribal area (lower 48 states)?	no
Within 0.5 miles of the service area of a mitigation or conservation bank?	yes
Within 0.5 miles of the service area of an In-Lieu-Fee Program?	ves

Created on: 4/26/2021 1:10:48 PM

FARMLAND PROTECTION

FACILITY INFORMATION	AFS O	ACRES ®	BR❶	SEMS O	GHG O	PCS/ICIS O	RADInfo 0	RCRAInfo®	TRI O	TSCA O
HEATECH 360 N MAIN ST HURON, OH 44839 Latitude: 41.093323 Longitude: -82.401418								<u>View</u> Report		
NEW LONDON WWTP WEST FIR STREET NEW LONDON, OH 44851 Latitude: 41.09114 Longitude: -82.40539						<u>View</u> <u>Report</u>				
ROTH MANUFACTURING CORP 81 E WASHBURN ST NEW LONDON, OH 44851-1290 Latitude: 41.0893 Longitude: -82.39639								View Report		
WALDORF MARKING DEVICES 149 HIGH ST NEW LONDON, OH 44851 Latitude: 41.08301 Longitude: -82.3935 [SALEMBER RESEAT] FRANCE RESEAT								<u>View</u> <u>Report</u>		
WHITE SCREW PRODUCTS INC 100 INDUSTRIAL DR NEW LONDON, OH 44851 Latitude: 41.08683 Longitude: -82.41137								<u>View</u> <u>Report</u>		
Showing 1 to 10 o			how 10	entrie	S		Searci	h:		

Total Number of Facilities Displayed: 10

Return to more topical information



- You are here: EPA Home
- Envirofacts Search Results

Search Results

Home

Multisystem Search

Topic Searches

System Data Searches

About the Data

Data Downloads

Widgets

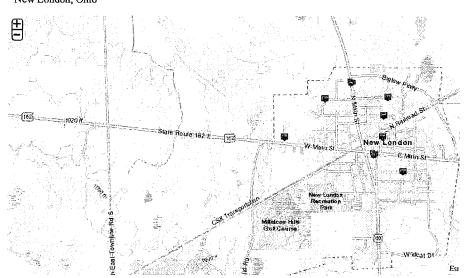
Services

Mobile

Other Datasets

Envirofacts Links

Search Results for: New London, Ohio



The facility list below is based upon the facilities that are visible with the map above. To refine your search to a more targeted area of interest, please visit the Envirofacts Multisystem Search Form. To search Envirofacts via an interactive map, please view your results in EnviroMapper for Envirofacts

List of EPA-Regulated Facilities in Envirofacts

CSVExcel **PDF** Print Copy

WILD & SCENIC RIVERS

Ohio Bureau of Underground Storage Tanks - UST LUST LISTING - Village of New London, Huron County, OH

					Facility	Priorit	Review	
Release # Facility Name	Facility Address	Facility City	LTF Status	FR Status	Release Date Status	У	Date (lass Latitude Longitude
39000039-N00001 FIRELANDS ELECTRIC COOP., INC.	1 ENERGY PL	NEW LONDO	\6 Closure of regulated UST	NFA: No Further Action	11/3/2011 Inactive	7	12/12/2011	41.08517 -82.4005
39000059-N00001 WHITE TRUCKING CO.	40 S MAIN ST	NEW LONDO	\6 Closure of regulated UST	NFA: No Further Action	lnactive	3	6/20/2000 [41.08448 -82.3986
39000063-N00001 PERRY CHEVROLET, INC.	191 W MAIN ST	NEW LONDO	\6 Closure of regulated UST	NFA: No Further Action	Inactive	3	6/20/2000 [41.08571 -82.4078
39000063-N00002 PERRY CHEVROLET, INC.	191 W MAIN ST	NEW LONDOI	N6 Closure of regulated UST	NFA: No Further Action	Inactive	3	6/20/2000 0	41.08571 -82.4078
39000158-N00001 NEW LONDON MICKEY MART	72 N MAIN ST	NEW LONDO	\1 SUS/CON from regulated US	NFA: No Further Action	5/19/1988 Inactive	2	6/16/2009 0	41.0863 -82.3994
39000158-N00002 NEW LONDON MICKEY MART	72 N MAIN ST	NEW LONDO	\1 SUS/CON from regulated US	NFA: No Further Action	12/26/2012 Inactive	2	9/18/2019	41.0863 -82.3994
39000204-N00001 FITCHVILLE MARKET, INC.	1596 US RT 250	NEW LONDO	N6 Closure of regulated UST	NFA: No Further Action	Inactive	3	6/20/2000 [41.09525 -82.4887
39000205-N00001 OWL HOOT BEVERAGE & SPORTS SHO	DI 2690 US RT 250	NEW LONDO!	\6 Closure of regulated UST	NFA: No Further Action	Inactive	3	6/20/2000 0	41.0948 -82.393
39000224-N00001 KING B. ROWLAND TRUCKING, INC.	55 E WASHBURN ST	. NEM FONDOI	6 Closure of regulated UST	NFA: No Further Action	inactive	3	6/20/2000 E	41.08906 -82.3985
39002301-N00001 NEW LONDON LANES, INC.	136 W MAIN ST	NEW FONDO	6 Closure of regulated UST	NFA: No Further Action	Inactive	3	6/20/2000 0	41.08577 -82.4053
39005247-N00001 NEW LONDON BOARD OF EDUCATION	N 100 E MAIN ST	NEW LONDO	6 Closure of regulated UST	NFA: No Further Action	8/23/1996 inactive	2	6/20/2000 0	41.08506 -82.395
39007664-N00001 FITCHVILLE ELEMENTARY	1603 ELM ST	NEW LONDO!	\6 Closure of regulated UST	NFA: No Further Action	Inactive	3	6/20/2000 0	41.09494 -82.492
39008854-N00001 TRIANGLE FARMS	409 TOWNLINE 79	NEW LONDO!	6 Closure of regulated UST	NFA: No Further Action	Inactive	3	6/20/2000 0	41.0948 -82,393
39009919-N00001 ANDREW CORDAS	123 FIRST ST	NEW LONDO	\6 Closure of regulated UST	CLO: Closure	5/12/1998 Active	2	2/26/2021	41.08176 -82.3996
39009952-N00001 KELLEY OIL CO.	TO NIAM N EE	NEW LONDO!	1 SUS/CON from regulated US	RAP: Remedial Action I	10/3/1988 Active	2	11/10/2020	41.08581 -82.3995
39009964-N00001 7EW LONDON FIRE STA	S MAIN ST	NEW LONDO!	1 SUS/CON from regulated US	NFA: No Further Action	3/29/1990 Inactive	2	3/21/2006	41.0948 -82.393
39009973-N00001 VILLAGE GARAGE	W FIR ST	NEW LONDO	\ 6 Closure of regulated UST	NFA: No Further Action	4/29/1990 Inactive	3	6/20/2000 0	41.0948 -82.393
39009974-N00001 OLD WATER TREATMENT PLANT	S RAILROAD ST	NEM FONDO!	6 Closure of regulated UST	NFA: No Further Action	4/29/1990 Inactive	3	6/20/2000 0	41.0948 -82,393
39009999-N00001 SHELVY ASH	6180 SR 18	NEW LONDO?	\6 Closure of regulated UST	CLO: Closure	6/29/1992 Active	2	12/17/2020 F	41.18279 -82.3708
39010002-N00002 FORMER GULF	121 N MAIN	NEW LONDON	6 Closure of regulated UST	NFA: No Further Action	12/17/2002 Inactive	3	1/16/2003	41.08705 -82.4
39010016-N00001 NICKLES BAKERIES	425 PARK AVE S	NEW LONDO	\6 Closure of regulated UST	NFA: No Further Action	Inactive	3	6/20/2000 E	41.07662 -82.3974
39010028-N00001 SOHIO #05324	20 S MAIN ST	NEW LONDO	1 SUS/CON from regulated US	NFA: No Further Action	12/1/1988 Inactive	2	8/3/2007	41.0848 -82.3988
39010047-N00001 KENT SPORTING GOODS CO INC	433 PARK AVE	NEW LONDO	6 Closure of regulated UST	NFA: No Further Action	9/4/2012 Inactive	2	9/5/2012	41.09031 -82.4022
39010047-N00002 KENT SPORTING GOODS CO INC	433 PARK AVE	NEW LONDON	6 Closure of regulated UST	NFA: No Further Action	9/4/2012 Inactive	2	9/5/2012 [41.09031 -82.4022

Ohio Bureau of Underground Storage Tanks Regulations - List of Active Underground Storage Tanks - New London, OH

							UST									
Facility			County	Facility	Tank	Tank	Capacit			Sensitive	UST	Piping	Piping			
Number Facility Na	me Address	City	Name	Туре	Number	Content	y Construction	Status	Installation Regulate	d Area	Configurations	Configuration		Iping Construction	Latitude	Longitude
FFTCHVILL	5						FRP-Fiberglass Reinforced						F	RP - Fiberglass		
39000204 MARKET,	NC. 1596 US RT 250	NEW LONDON	Huron	Commercia	T00007	Gasoline	e 6000 Plastic	CIU - Current	1 12/1/1993 YES	NO	SW - Single Wa	iSW - Single Wa	a P - Pressure F	Reinforced Plastic	41.09525	-82.489
NEW LON	DON						CCPS - Coated/Cathodical	,					F	RP - Fiberglass		
39000158 MICKEY N	ART 72 N MAIN ST	NEW LONDON	N Huron	Gas Station	T00002	Gasoline	4000 Protected Steel	CIU - Current	I 5/1/1988 YES	NO	SW - Single Wa	ISW - Single Wa	a P - Pressure l	Reinforced Plastic	41.0863	-82.399
NEW LON	DON						CCPS - Coated/Cathodicall	y					F	RP - Fiberglass		
39000158 MICKEY M	ART 72 N MAIN ST	NEW LONDON	N Huron	Gas Station	T00004	Gasoline	4000 Protected Steel	CIU - Current	5/1/1988 YES	NO	SW - Single Wa	ISW - Single Wi	a P - Pressure f	Reinforced Plastic	41.0863	-82,399
FITCHVILL	Ę						FRP-Fiberglass Reinforced						F	RP - Fiberglass		
39000204 MARKET,	NC. 1596 US RT 250	NEW LONDON	N Huron	Commercia	T00001	Gasoline	e 6000 Plastic	CIU - Current	I 12/1/1993 YES	NO	SW - Single Wa	ISW - Single Wi	a P - Pressure f	Reinforced Plastic	41.09525	-82.489
GAS DEPO	T						FRP-Fiberglass Reinforced						F	RP - Fiberglass		
39001091 INC	11 AKRON STREET	NEW LONDON	N Huron	Gas Station	100003	Diesel	12000 Plastic	CIU - Current	1 7/1/1998 YES	NO	SW - Single Wa	ISW - Single Wa	a P − Pressur¢ F	Reinforced Plastic	41.08628	-82.401
NEW LON	DON						CCPS - Coated/Cathodical	4					í	RP - Fiberglass		
39000158 MICKEY M	ART 72 N MAIN ST	NEW LONDON	* Huron	Gas Station	T00001	Gasoline	4000 Protected Steel	CIU - Current	5/1/1988 YES	NO	SW - Single Wa	ISW - Single Wa	a P - Pressure f	Reinforced Plastic	41.0863	-82.399
GAS DEPO	T						FRP-Fiberglass Reinforced						F	RP - Fiberglass		
39001091 INC	11 AKRON STREET	NEW LONDON	N Huron	Gas Station	T00001	Gasoline	12000 Plastic	CIU - Current	7/1/1998 YES	NO	SW - Single Wa	ISW - Single Wa	a P - Pressure F	Reinforced Plastic	41.08628	-82.401
GAS DEPO	T						FRP-Fiberglass Reinforced						F	RP - Fiberglass		
39001091 INC	11 AKRON STREET	NEW LONDON	Huron	Gas Station	T00002	Gasoline	6000 Plastic	CIU - Current	7/1/1998 YES	NO	SW - Single Wa	ISW - Single Wa			41.08628	-82.401
NEW LON	DON						CCPS - Coated/Cathodicali	4					F	RP - Fiberglass		
39000158 MICKEY M	ART 72 N MAIN ST	NEW LONDON	Huron	Gas Station	T00003	Gasoline	4000 Protected Steel	CIU - Current	! 5/1/1988 YES	NO	SW - Single Wa	ISW - Single Wi	a P - Pressure F	Reinforced Plastic	41.0863	-82.399
NEW LON	DON						CCPS - Coated/Cathodicali	,					E	RP - Fiberglass		
39000158 MICKEY N	ART 72 N MAIN ST	NEW LONDON	N Huron	Gas Station	T00005	Diesel	2000 Protected Steel	CIU - Current	5/1/1988 YES	NO	SW - Single Wa	ISW - Single Wa	a S - Suction F	Reinforced Plastic	41.0863	-82.399
NEW LON	DON						CCPS - Coated/Cathodical	y					F	RP - Fibergiass		
39000158 MICKEY N	ART 72 N MAIN ST	NEW LONDON	N Huron	Gas Station	T00006	Kerosene	e 2000 Protected Steel	CIU - Current	f 5/1/1988 YES	NO	SW - Single Wa	ISW - Single Wa	a S - Suction F	Reinforced Plastic	41.0863	-82.399

Site Contamination

Introduction

It is HUD policy, as described in 24 CFR Part 50.3(i) and 24 CFR 58.5(i)(2), that:

- All property proposed for use in HUD programs be free of hazardous materials, contamination, toxic chemicals and gasses, and radioactive substances, where a hazard could affect the health and safety of occupants or conflict with the intended utilization of the property.
- 2. Environmental review of multifamily and non-residential properties shall include evaluation of previous uses of the site and other evidence of contamination on or near the site, to assure that occupants of proposed sites are not adversely affected by the hazards.
- 3. Particular attention should be given to any proposed site on or in the general proximity of such areas as dumps, landfills, industrial sites, or other locations that contain, or may have contained, hazardous wastes.
- 4. The responsible entity shall use current techniques by qualified professionals to undertake investigations determined necessary

It is therefore essential that responsible entities, potential grant applicants, and other HUD program participants become familiar with the potential environmental issues involving property before leasing, optioning, and/or acquiring the property. Unknowing individuals or parties that acquire contaminated property with good intentions could face liability for clean-up costs under the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA), third party lawsuits, and costly delays in implementing the project.

HUD Guidance

Were any on-site or nearby toxic, hazardous, or radioactive substances found that could affect the health and safety of project occupants or conflict with the intended use of the property? Sites known or suspected to be contaminated by toxic chemicals or radioactive materials include but are not limited to sites: (i) listed on an EPA Superfund National Priorities or CERCLA List, or equivalent State list; (ii) located within 3,000 feet of a toxic or solid waste landfill site; or (iii) with an underground storage tank. For any of these conditions, the grantee must provide an ASTM Phase I report.

FHA-insured projects should refer to program guidance and to Chapter 9 of the MAP (Multifamily Accelerated Processing) Guide to comply with toxics and site contamination. Non-FHA projects should identify the potential for hazardous substances or materials that may affect the health and safety of the users of the property as follows:

- Review databases maintained by U.S. EPA and state, local, and tribal
 environmental quality departments or agencies to screen for potential onsite and off-site facilities that could pose health and safety problems and toxic
 clean-up sites that are presently under analysis or remediation.
- Investigate previous uses of the site. Site inspections and building and use
 permit records as well as Sanborn Co. maps show previous land uses which
 could have left toxic residues. Other methods of evaluation include performing
 a site walk, interviewing property owners or managers and local officials, and
 analyzing local land use records, permits, and violations.
- When site conditions indicate that the subject property is contaminated or likely contaminated by toxic substances, hazardous materials or petroleum products, one shall provide an ASTM certified Phase I ESA report, or other studies where applicable. Any hazards that are identified should be evaluated for the potential to affect the health and safety of the occupants and end-users. Contact your local HUD field environmental officer for further technical assistance in this regard.

Can adverse environmental impacts be mitigated?

Use mitigation to prevent the hazard from affecting the health and safety or project occupants, or remediate the contaminated property and work with the appropriate state agency.

Compliance and Documentation

For non-FHA-insured programs, the environmental review record should contain **one** of the following:

- Evidence the site is not contaminated (for multifamily housing projects this includes on site and off site contamination and previous uses of the site); a Phase I Environmental Site Assessment is strongly encouraged for multifamily and non-residential projects
- Evidence supporting a determination the hazard will not affect health and safety of the occupants or conflict with the intended use of the site, including any mitigation measures used
- Documentation the site has been cleaned up according to EPA or state standards for residential properties, which requires a letter of "No Further Action" (NFA) required from the appropriate state department/agency, or a RAO letter from the LSRP

View Site Contamination (Single Family) - Worksheet.

View Site Contamination (Multi-Family) - Worksheet.

View Site Contamination (Single Family) - Partner Worksheet.

View Site Contamination (Multi-Family) - Partner Worksheet.

PUBLIC MEETINGS

VIA E-MAIL

To: Classified Notices / Legals - Norwalk Reflector legals@norwalkreflector.com

From: Angie McConnell (419-332-2008) at GLCAP Fax 419-334-5125

Please publish this notice for one day on Saturday, February 29, 2020 in the Legal Section of the Classifieds.

Please provide **TWO (2) proofs of publication** and bill to: GLCAP
Angie McConnell
P.O. Box 590
Fremont, OH 43420

NOTE: Please e-mail copy for proof before printing to ammcconnell@glcap.org

NOTICE OF PUBLIC HEARING #1

Huron County intends to apply to the Ohio Development Services Agency for program year 2020 under the Community Development Block Grant (CDBG) Program, a federally funded program administered by the State. CDBG programs can fund a broad range of planning, community improvement and housing related activities that must be designed to primarily benefit low-moderate income persons, aid in the prevention of elimination of slum and blight or meet an urgent need within the community. The County is eligible for the following PY 2020 Community Development programs, providing the County meets the applicable requirements:

- Allocation Program: biennial for approximately \$150,000 designed to improve public facilities, public services, housing, economic development and fair housing.
- Neighborhood Revitalization Program: biennial up to \$750,000 designed to improve the quality of life, livability and functionality of distressed areas through public infrastructure projects.
- Residential Public Infrastructure Program: open cycle up to \$750,000 designed to create safe and reliable drinking water and properly disposed of sanitary waste.
- Critical Infrastructure Program: open cycle up to \$500,000 designed to fund public infrastructure improvements with a significant community impact.
- Economic Development and Public Infrastructure Program: open cycle up to \$500,000 grants and loans designed to improve infrastructure directly and primarily related to creating, expanding or retaining a business in the community.
- Target of Opportunity Program: open cycle, up to an amount to be determined designed to provide a means to fund worthwhile "targets of opportunity" projects and activities that do not fit within existing program structures and to provide supplemental resources to resolve immediate and unforeseen needs includes Downtown Revitalization, up to \$250,000, designed to improve central business districts, aiding in the elimination of slum and blight structures.

The first of two public hearings that will be held on March 10, 2020 at 10:00 a.m. in the Huron County Commissioners office, located at 180 Milan Avenue, Norwalk, Ohio. This meeting will provide citizens with pertinent information about all of these programs, including an explanation of eligible activities, program requirements and application due dates. Citizens are encouraged to attend to provide input on the County's programs. Accommodations for disabled or non-English speaking residents will be made available upon advance request, at least one (1) week prior to hearing date, by contacting Huron County at 419-668-3092.

VIA E-MAIL

To: Classified Notices / Legals - Norwalk Reflector legals@norwalkreflector.com

From: Angie McConnell (419-332-2008) at GLCAP Fax 419-334-5125

Please publish this notice for one day no later than <u>Saturday, May 30, 2020</u> in the <u>Legal Section</u> of the Classifieds.

Please provide **TWO (2) proofs of publication** and bill to: Angie McConnell GLCAP P.O. Box 590 Fremont, OH 43420

NOTE: Please e-mail copy for proof before printing to ammcconnell@glcap.org

NOTICE OF PUBLIC HEARING #2

The Huron County Commissioners intend to apply to the Ohio Development Services Agency for funding under the Community Development Block Grant (CDBG) small cities program, a federally funded program administered by the State. The county is eligible for \$162,000 in PY 2020 funding, providing the county meets applicable program requirements and the County's application is approved. On March 10, 2020, the county conducted its first public hearing to inform citizens about the CDBG programs, how it may be used, what activities are eligible, and other important program requirements.

Based on both citizen input and local officials' assessment of the county's needs, the county is proposing to undertake the following CDBG activities for PY 2020, based on funding of \$162,000:

- 1. City of Willard, Street Improvements; National Objective Benefits LMI Area Wide; CDBG Allocation \$55,000.00
- 2. Greenwich Village, Street Improvement; National Objective Benefits LMI Area Wide; CDBG Allocation \$66,900.00
- 3. Huron County, Public Rehabilitation, National Objective Benefits Limited Clientele; CDBG Allocation \$16,100.00
- 4. General Administration & Fair Housing, CDBG Allocation \$24,000.00

The County is also proposing to undertake a PY 2020 CDBG Critical Infrastructure Grant for the Village of New London based on funding up to \$500,000.00.

A second public hearing will be held Tuesday, June 9, 2020 at 9:30 a.m. in the office of the Huron County Commissioners, 180 Milan Avenue, Norwalk, Ohio, 44857, to provide citizens an adequate opportunity to review and comment on the county's proposed application, including the proposed activities summarized above, before the county submits its application to the Ohio Development Services Agency. Citizens are encouraged to attend this meeting to express their views and comments on the county's proposed CDBG application.

Should any participant require auxiliary aids due to a disability or non-English languages, please contact the Commissioner's office at least one week prior to the hearing date to ensure needs will be accommodated. Anyone wishing to submit written comments prior to the hearing date may direct them to the Commissioner's Office at the address above.

Huron County Commissioners

Published May 30, 2020

COMBINED NOTICE TO PUBLIC OF A FINDING OF NO SIGIFICANT IMPACT ON THE ENVIRONMENT (FONSI) COMBINED NOTICE

&

NOTICE OF INTENT TO REQUEST A RELEASE OF FUNDS

REQUEST FOR RELEASE OF FUNDS AND CERTIFICATION